WINDY HILL
property ventures

A Planning Application For:

BLOCK 20

S CLAREMONT ST. & E 4TH AVENUE
SAN MATEO, CA 94401

PROJECT DATA

OWNER NAME:	WINDY HILL PROPERTY VENTURES
PROJECT ADDRESS:	S CLAREMONT ST. & E 4TH AVENUE SAN MATEO, CA 94401

BUILDING AREA, OFFICE:	216,301 S.F.
TOTAL RESIDENTIAL UNITS:	86 UNITS
NUMBER OF STORIES:	6
CONSTRUCTION TYPE:	SEE BELOW
FIRE SPRINKLERS:	YES
OCCUPANCY TYPE:	B AND R-2
CONSTRUCTION TYPES:	
I-A	(BUSINESS B OCCUPANCY / 1ST TO 3RD FLOOR)
V-B	(RESIDENTIAL R-2 OCCUPANCY / 4TH TO 6TH FLOOR)

PROJECT DESCRIPTION

THIS IS A NEW 216,301 S.F. 6-STORY BUILDING WHICH INCLUDES 5-STORY OFFICE AND 3-STORY RESIDENTIAL BUILDING WITH BELOW GRADE 2 LEVEL PARKING STRUCTURE ON A 50,501 S.F. LOT. SCOPE OF WORK SHALL INCLUDE THE CONSTRUCTION OF THE BUILDING SHELL AND CORE, COMPLETE BUILD OUT OF RESIDENTIAL COMPONENT AS WELL AS SITE IMPROVEMENTS SUCH AS SIDEWALKS, CURB/GUTTER, BICYCLE RACKS, STREET TREES, ETC.

APPLICABLE CODES

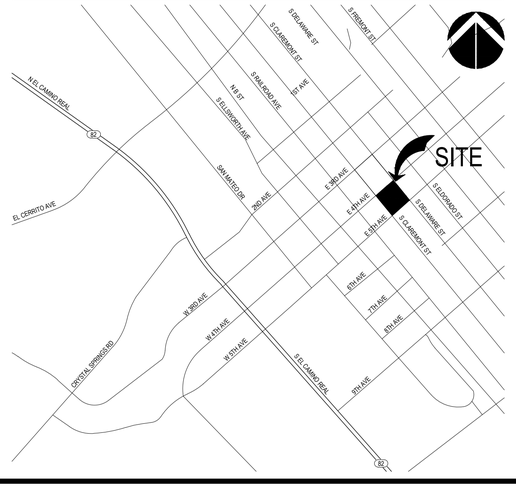
2019 CALIFORNIA BUILDING CODE (CCR TITLE 24, PART 2)
2019 CALIFORNIA ELECTRIC CODE (CCR TITLE 24, PART 3)
2019 CALIFORNIA MECHANICAL CODE (CCR TITLE 24, PART 4)
2019 CALIFORNIA PLUMBING CODE (CCR TITLE 24, PART 5)
2019 CALIFORNIA ENERGY CODE (CCR TITLE 24, PART 6)
2019 CALIFORNIA FIRE CODE (CCR TITLE 24, PART 9)
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CCR TITLE 24, PART 11)

ALL CODES ARE SUBJECT TO LOCAL GOVERNMENT AMENDMENTS PER CALIFORNIA BUILDING STANDARDS COMMISSION BULLETIN 10-03.

PROJECT TEAM

OWNER:	WINDY HILL PROPERTY VENTURES 530 Emerson Street, Suite 150 Palo Alto, CA 94301	ARCHITECT:	ARC TEC INC. 99 Almaden Boulevard, Suite 840 San Jose, CA 95113 PHONE: 408.496.0676 CONTACT: Craig Almeleh EMAIL: craiga@arctecinc.com
LANDSCAPE ARCHITECT:	KLA, INC 151 N.Norlin Street Sonore, CA 95370 PHONE: 209.532.28.56 CONTACT: Tom Holloway EMAIL: tom@knoxla.com	CIVIL ENGINEER:	BKF 150 California Street, Suite 600 San Francisco, CA 94111 PHONE: 415.930.7904 CONTACT: Alyssa Jacobson EMAIL: ajacobson@bkf.com

VICINITY MAP



DRAWING INDEX AND ISSUE DATES

- ○ PRELIMINARY OR PRICING PLANS
- ● FIRST FORMAL SUBMITTAL OR NO CHANGES SINCE PREVIOUS ISSUE
- ✚ MODIFICATIONS SINCE PREVIOUS ISSUE

ISSUE DATES AND DESCRIPTIONS
08.22.22 PRELIM. PLANNING SUBMITTAL

COVER SHEET		
		●
ARCHITECTURAL		
A 0.01	3D RENDERINGS	●
A 0.02	3D RENDERINGS	●
A 0.03	3D RENDERINGS	●
A 0.04	3D RENDERINGS	●
A 0.05	3D RENDERINGS	●
A 0.16	NEIGHBORHOOD CONTEXT	●
A 0.21	PLANNING DEPARTMENT AREA CALCULATIONS	●
A 0.22	PLANNING DEPARTMENT AREA CALCULATIONS	●
A 0.24	RESIDENTIAL USABLE OPEN SPACE DIAGRAMS	●
A 0.31	BUILDING CODE PROJECT DATA	●
A 0.32	EGRESS DIAGRAMS	●
A 0.33	EGRESS DIAGRAMS	●
A 0.34	EGRESS DIAGRAMS	●
A 1.01	SITE PLAN	●
A 2.01	FIRST FLOOR PLAN	●
A 2.02	SECOND FLOOR PLAN	●
A 2.03	THIRD FLOOR PLAN	●
A 2.04	FOURTH FLOOR PLAN	●
A 2.05	FIFTH FLOOR PLAN	●
A 2.06	SIXTH FLOOR PLAN	●
A 2.31	ROOF LEVEL PLAN	●
AB 2.11	B1 LEVEL PLAN	●
AB 2.12	B2 LEVEL PLAN	●
A 3.01	EXTERIOR ELEVATIONS	●
A 3.02	EXTERIOR ELEVATIONS	●
A4.01	BUILDING SECTIONS	●
CIVIL		
C1.01	TITLE SHEET	●
C1.02	NOTES, LEGENDS & ABBREVIATIONS	●
C2.01	EXISTING CONDITIONS	●
C2.02	PRELIMINARY PARCEL MAP	●
C3.01	PRELIMINARY HORIZONTAL CONTROL PLAN	●
C4.01	PRELIMINARY GRADING PLAN	●
C5.01	PRELIMINARY UTILITY PLAN	●
C6.01	PRELIMINARY STORMWATER CONTROL PLAN	●
C6.02	STORMWATER CONTROL NOTES	●
C7.01	PRELIMINARY FIRE ACCESS PLAN	●
C8.01	CONSTRUCTION BMPS	●
LANDSCAPE		
L.01	PRELIMINARY LANDSCAPE PLAN	●
L.02	LANDSCAPE PLAN ENLARGEMENTS	●
L.03	PRELIMINARY LANDSCAPE PLAN	●
L.04	PRELIMINARY LANDSCAPE PLAN	●

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In Association with:

A Planning Application for:

BLOCK 20

S CLAREMONT ST. & E 4TH AVENUE SAN MATEO, CA 94401

PROJECT NUMBER: 215513

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VIEW FROM S. DELAWARE ST. & E. 4TH AVENUE

SCALE: NTS

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DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

RENDERINGS

A 0.01

PROJECT NO: 215513

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VIEW FROM E. 4TH AVENUE & S. CLAREMONT ST.

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RENDERINGS

A 0.02

PROJECT NO: 215513

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VIEW FROM E. 5TH AVENUE & S. DELAWARE ST.

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RENDERINGS

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PROJECT NO: 215513

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RENDERINGS

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PROJECT NO: 215513

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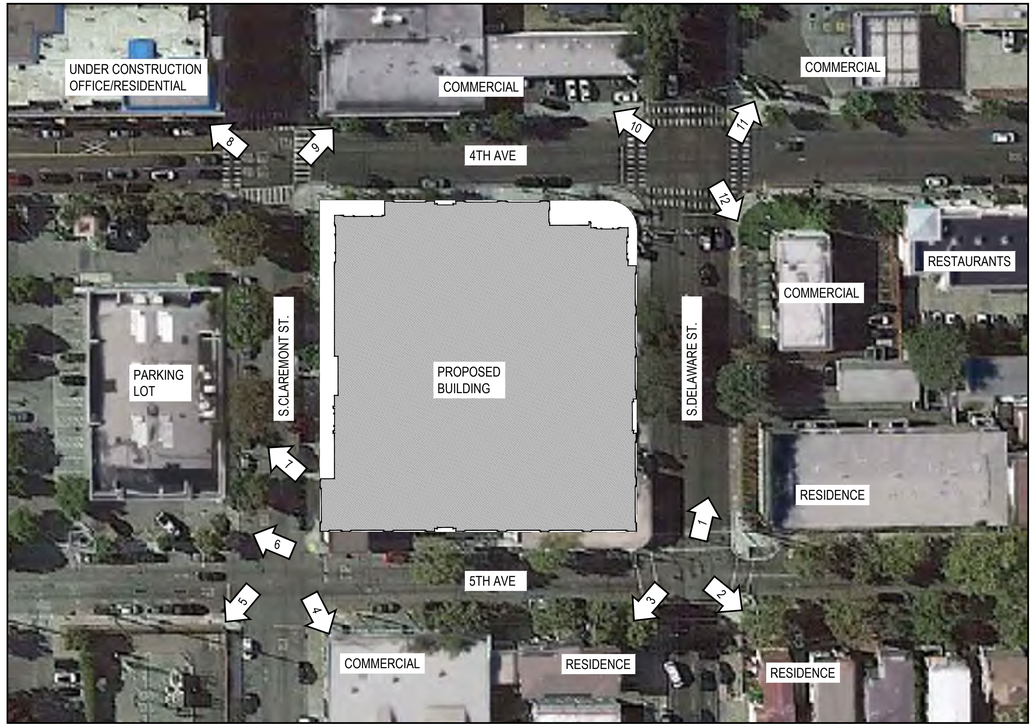


REFERENCE SITE PLAN

SCALE: NTS

5 COMMERCIAL

1 RESIDENCE BUILDING

6 PARKING LOT

2 RESIDENCE BUILDING

11 COMMERCIAL

9 COMMERCIAL

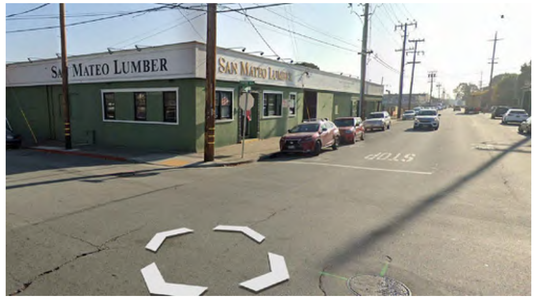
7 PARKING LOT

3 RESIDENCE BUILDING

12 COMMERCIAL

10 COMMERCIAL

8 OFFICE/RESIDENTIAL



4 COMMERCIAL

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08.22.2022	ZONING PRE-APPLICATION

NEIGHBORHOOD CONTEXT

A 0.16

PROJECT NO: 215513

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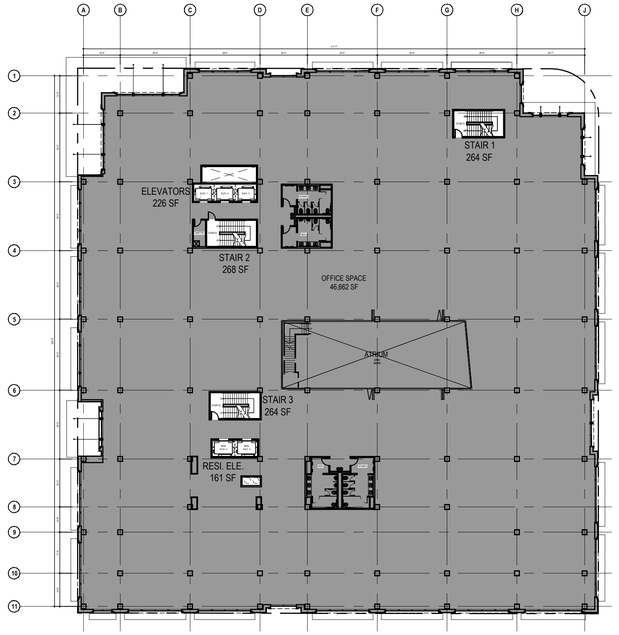
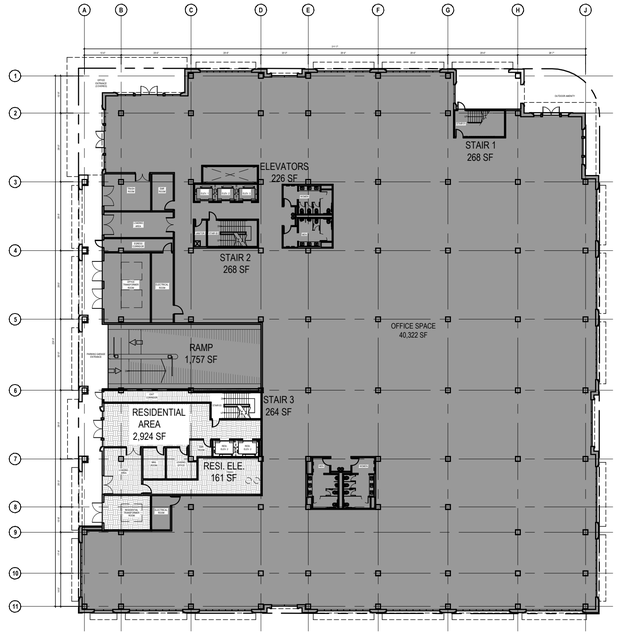


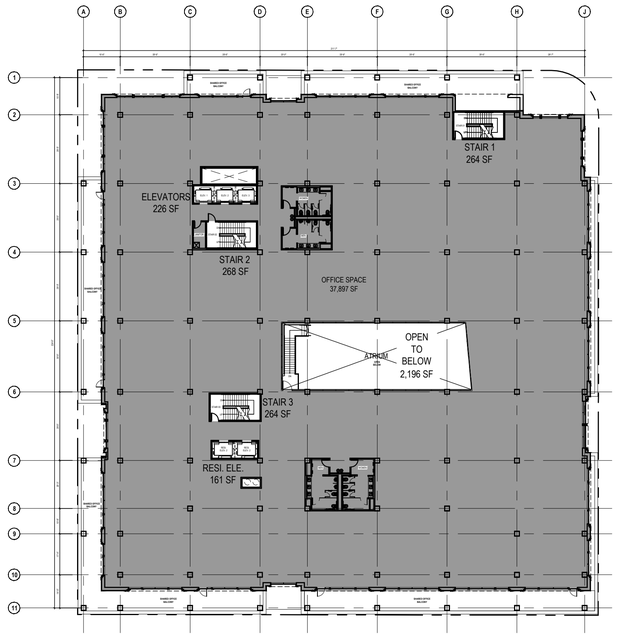
SECOND LEVEL AREA PLAN

SCALE: 1/32" = 1'-0"



FIRST LEVEL AREA PLAN

SCALE: 1/32" = 1'-0"



THIRD LEVEL AREA PLAN

SCALE: 1/32" = 1'-0"

PARKING ORDINANCE AREA CALCULATIONS

FIRST LEVEL

OFFICE SPACE	40,322 SQ. FT.
STAIR #1	268 SQ. FT.
STAIR #2	268 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
TOTAL:	41,084 SQ. FT.

SECOND LEVEL

OFFICE AREA	46,662 SQ. FT.
SHAFT	180 SQ. FT.
TRASH CHUTE	40 SQ.FT.
TOTAL :	46,882 SQ. FT.

THIRD LEVEL

OFFICE AREA	37,897 SQ. FT.
TOTAL :	37,897 SQ. FT.

FOURTH LEVEL

OFFICE AREA	7,653 SQ. FT.
TOTAL :	7,653 SQ. FT.

FIFTH LEVEL

OFFICE AREA	6,993 SQ. FT.
TOTAL :	6,993 SQ. FT.

FAR FLOOR AREA CALCULATIONS

FIRST LEVEL

OFFICE SPACE	40,322 SQ. FT.
RESIDENTIAL SPACE	2,924 SQ. FT.
STAIR #1	268 SQ. FT.
STAIR #2	268 SQ. FT.
STAIR #3 (RESI.)	264 SQ. FT.
PARKING RAMP	1,757 SQ.FT.
RESIDENTIAL ELEVATORS	161 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
FLOOR AREA OFFICE*:	42,841 SQ. FT.
FLOOR AREA RESIDENTIAL*:	3,349 SQ.FT.

SECOND LEVEL

OFFICE AREA:	46,662 SQ. FT.
FLOOR AREA OFFICE*:	46,662 SQ. FT.

THIRD LEVEL

OFFICE AREA	37,897 SQ. FT.
FLOOR AREA OFFICE*:	37,897 SQ. FT.

FOURTH LEVEL

OFFICE AREA	7,653 SQ. FT.
RESIDENTIAL AREA	23,226 SQ. FT.
FLOOR AREA OFFICE*:	7,653 SQ. FT.
FLOOR AREA RESIDENTIAL*:	23,226 SQ. FT.

FIFTH LEVEL

OFFICE AREA	6,993 SQ. FT.
RESIDENTIAL AREA	23,240 SQ. FT.
FLOOR AREA OFFICE*:	6,993 SQ. FT.
FLOOR AREA RESIDENTIAL*:	23,240 SQ. FT.

SIXTH LEVEL

RESIDENTIAL AREA	24,440 SQ. FT.
FLOOR AREA RESIDENTIAL*:	24,440 SQ. FT.

TOTAL FAR FLOOR AREA OFFICE: 142,046 SQ.FT.
TOTAL FAR FLOOR AREA RESIDENTIAL: 74,255 SQ.FT.
TOTAL PARKING FLOOR AREA : 140,509 SQ.FT.

BICYCLE PARKING CALCULATIONS

BICYCLE PARKING REQUIRED
(PER SAN MATEO CITY CHARTER AND MUNICIPAL CODE SECTION 27.64.262)

GENERAL OFFICE:
1 SHORT-TERM SPACE PER 20,000 S.F.
142,046 S.F. / 20,000 S.F. = 8 SPACES

1 LONG-TERM SPACE PER 10,000 S.F.
142,046 S.F. / 10,000 S.F. = 15 SPACES

RESIDENTIAL:
.05 SHORT-TERM SPACES PER UNIT (STUDIO AND ONE BEDROOM)
76 UNITS X .05 = 4 SPACES

.10 SHORT-TERM SPACES PER UNIT (2 BEDROOM UNIT)
10 UNITS X .10 = 1 SPACE

1.0 LONG-TERM SPACES PER UNIT (STUDIO AND ONE BEDROOM)
76 UNITS X 1.0 = 76 SPACES

1.25 LONG-TERM SPACES PER UNIT (2 BEDROOM UNIT)
10 UNITS X 1.25 = 13 SPACES

BICYCLE PARKING REQUIRED:
TOTAL SHORT-TERM SPACES: 5 SPACES
TOTAL LONG-TERM SPACES: 89 SPACES

BICYCLE PARKING PROVIDED:
5 SHORT-TERM SPACES
90 LONG-TERM SPACES

***PER San Mateo Municipal Code 27.04.200 (b) Measurement, other than single-family dwellings in r1 zoning districts.**
(1) Floor area is measured from the exterior façade of the building's wall planes, from the centerline of party walls, or from a line three feet from the edge of an eave, whichever produces the largest floor area. Stories exceeding 15 feet in height shall be counted as additional floor area, with the exception that ground floor retail may be up to 18 feet in height measured from first finish floor to second finish floor before being counted as additional floor area. Floor area also includes all accessory structures on the site and basements that meet the definition in subsection (c)(5).
(2) Exclusions. The following are not counted as floor area:
(A) Covered or open courts, and atriums, on the ground floor, provided that the area is not used as dwelling, office, retailing, or required access;
(B) In multiple-level buildings, covered courts, if the retailing uses are open to the public. Multiple-level stairwells and elevators shall be counted only as ground floor area;
(C) Covered walkways and balconies;
(D) First floors, mechanical areas, penthouse, and top floors are counted only once as floor area, regardless of height;
(E) Bicycle parking facilities;
(F) Floor area designated for day care centers accessory to and intended to serve a multi-family, commercial, office or manufacturing use. Such floor area may be located within the primary structure or may be in a freestanding structure accessory to the primary structure;
(G) Covered parking for office use shall not be counted as floor area in areas delineated for exclusion within an adopted plan, such as the Mariner's Island Specific Plan or the Bay Meadows Specific Plan.

FAR AREA DESIGNATION

- OFFICE AREA
- RESIDENTIAL AREA
- AREAS EXCLUDED FROM FAR CALCULATIONS
- OPEN TO BELOW AREA ADDED TO FAR CALCULATIONS

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08.22.2022	ZONING PRE-APPLICATION

PLANNING DEPARTMENT AREA CALCULATIONS

A0.21

PROJECT NO: 215513

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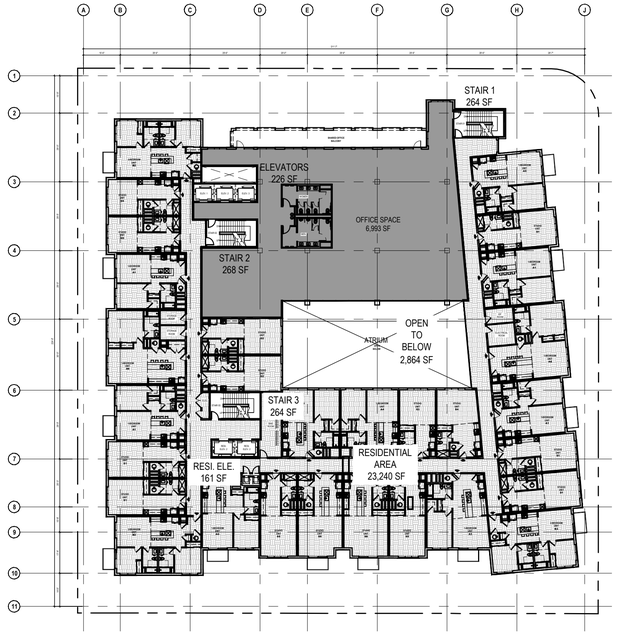
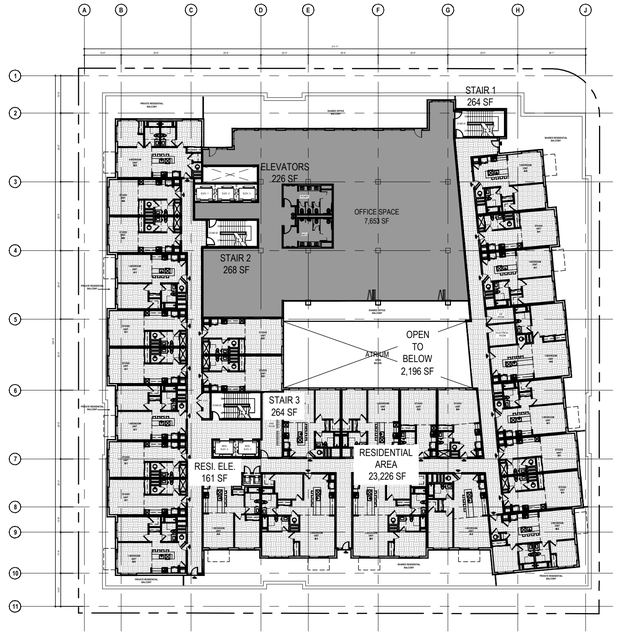


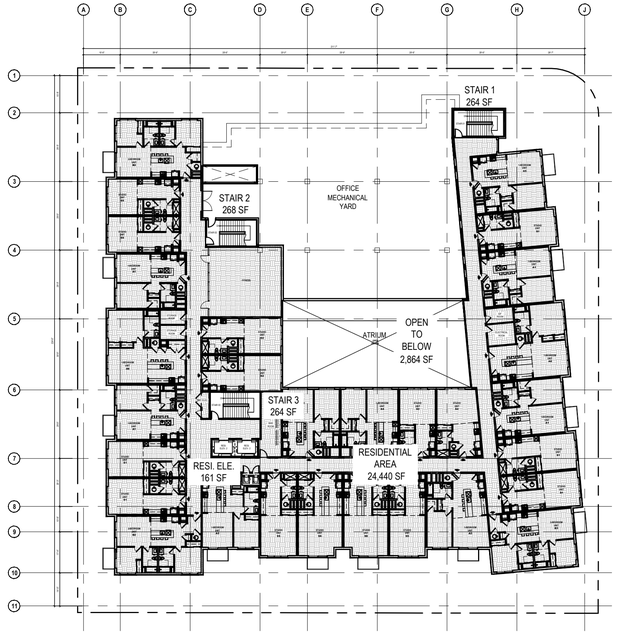
FIFTH LEVEL AREA PLAN

SCALE: 1/32" = 1'-0"



FOURTH LEVEL AREA PLAN

SCALE: 1/32" = 1'-0"



SIXTH LEVEL AREA PLAN

SCALE: 1/32" = 1'-0"

PARKING ORDINANCE AREA CALCULATIONS

FIRST LEVEL

OFFICE SPACE	40,322 SQ. FT.
STAIR #1	268 SQ. FT.
STAIR #2	268 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
TOTAL:	41,084 SQ. FT.

SECOND LEVEL

OFFICE AREA	46,662 SQ. FT.
SHAFT	180 SQ. FT.
TRASH CHUTE	40 SQ.FT.
TOTAL :	46,882 SQ. FT.

THIRD LEVEL

OFFICE AREA	37,897 SQ. FT.
TOTAL :	37,897 SQ. FT.

FOURTH LEVEL

OFFICE AREA	7,653 SQ. FT.
TOTAL :	7,653 SQ. FT.

FIFTH LEVEL

OFFICE AREA	6,993 SQ. FT.
TOTAL :	6,993 SQ. FT.

FAR FLOOR AREA CALCULATIONS

FIRST LEVEL

OFFICE SPACE	40,322 SQ. FT.
RESIDENTIAL SPACE	2,924 SQ. FT.
STAIR #1	268 SQ. FT.
STAIR #2	268 SQ. FT.
STAIR #3 (RESI.)	264 SQ. FT.
PARKING RAMP	1,757 SQ.FT.
RESIDENTIAL ELEVATORS	161 SQ. FT.
OFFICE ELEVATORS	226 SQ. FT.
FLOOR AREA OFFICE*:	42,841 SQ. FT.
FLOOR AREA RESIDENTIAL*:	3,349 SQ.FT.

SECOND LEVEL

OFFICE AREA:	46,662 SQ. FT.
FLOOR AREA OFFICE*:	46,662 SQ. FT.

THIRD LEVEL

OFFICE AREA	37,897 SQ. FT.
FLOOR AREA OFFICE*:	37,897 SQ. FT.

FOURTH LEVEL

OFFICE AREA	7,653 SQ. FT.
RESIDENTIAL AREA	23,226 SQ. FT.
FLOOR AREA OFFICE*:	7,653 SQ. FT.
FLOOR AREA RESIDENTIAL*:	23,226 SQ. FT.

FIFTH LEVEL

OFFICE AREA	6,993 SQ. FT.
RESIDENTIAL AREA	23,240 SQ. FT.
FLOOR AREA OFFICE*:	6,993 SQ. FT.
FLOOR AREA RESIDENTIAL*:	23,240 SQ. FT.

SIXTH LEVEL

RESIDENTIAL AREA	24,440 SQ. FT.
FLOOR AREA RESIDENTIAL*:	24,440 SQ. FT.

TOTAL FAR FLOOR AREA OFFICE: 142,046 SQ.FT.
TOTAL FAR FLOOR AREA RESIDENTIAL: 74,255 SQ.FT.
TOTAL PARKING FLOOR AREA : 140,509 SQ.FT.

BICYCLE PARKING CALCULATIONS

BICYCLE PARKING REQUIRED
(PER SAN MATEO CITY CHARTER AND MUNICIPAL CODE SECTION 27.64.262)

GENERAL OFFICE:
1 SHORT-TERM SPACE PER 20,000 S.F.
142,046 S.F. / 20,000 S.F. = 8 SPACES

1 LONG-TERM SPACE PER 10,000 S.F.
142,046 S.F. / 10,000 S.F. = 15 SPACES

RESIDENTIAL:
.05 SHORT-TERM SPACES PER UNIT (STUDIO AND ONE BEDROOM)
76 UNITS X .05 = 4 SPACES

.10 SHORT-TERM SPACES PER UNIT (2 BEDROOM UNIT)
10 UNITS X .10 = 1 SPACE

1.0 LONG-TERM SPACES PER UNIT (STUDIO AND ONE BEDROOM)
76 UNITS X 1.0 = 76 SPACES

1.25 LONG-TERM SPACES PER UNIT (2 BEDROOM UNIT)
10 UNITS X 1.25 = 13 SPACES

BICYCLE PARKING REQUIRED:
TOTAL SHORT-TERM SPACES: 5 SPACES
TOTAL LONG-TERM SPACES: 89 SPACES

BICYCLE PARKING PROVIDED:
5 SHORT-TERM SPACES
90 LONG-TERM SPACES

***PER San Mateo Municipal Code 27.04.200 (b) Measurement, other than single-family dwellings in r1 zoning districts.**
(1) Floor area is measured from the exterior façade of the building's wall planes, from the centerline of party walls, or from a line three feet from the edge of an eave, whichever produces the largest floor area. Stories exceeding 15 feet in height shall be counted as additional floor area, with the exception that ground floor retail may be up to 18 feet in height measured from first finish floor to second finish floor before being counted as additional floor area. Floor area also includes all accessory structures on the site and basements that meet the definition in subsection (c)(5).
(2) Exclusions. The following are not counted as floor area:
(A) Covered or open courts, and atriums, on the ground floor, provided that the area is not used as dwelling, office, retailing, or required access;
(B) In multiple-level buildings, covered courts, if the retailing uses are open to the public. Multiple-level stairwells and elevators shall be counted only as ground floor area;
(C) Covered walkways and balconies;
(D) First floors, mechanical areas, penthouse, and top floors are counted only once as floor area, regardless of height;
(E) Bicycle parking facilities;
(F) Floor area designated for day care centers accessory to and intended to serve a multi-family, commercial, office or manufacturing use. Such floor area may be located within the primary structure or may be in a freestanding structure accessory to the primary structure;
(G) Covered parking for office use shall not be counted as floor area in areas delineated for exclusion within an adopted plan, such as the Mariner's Island Specific Plan or the Bay Meadows Specific Plan.

FAR AREA DESIGNATION

- OFFICE AREA
- RESIDENTIAL AREA
- AREAS EXCLUDED FROM FAR CALCULATIONS
- OPEN TO BELOW AREA ADDED TO FAR CALCULATIONS

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In Association with:

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

PLANNING DEPARTMENT AREA CALCULATIONS

A0.22

PROJECT NO: 215513

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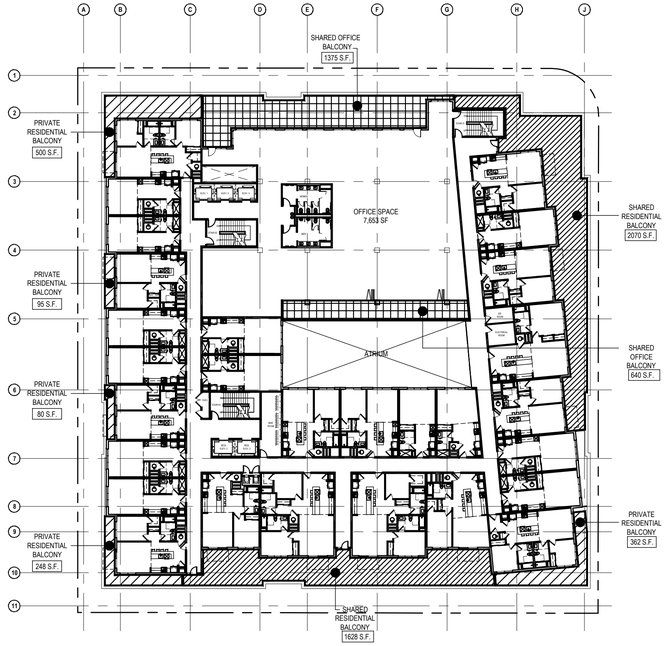
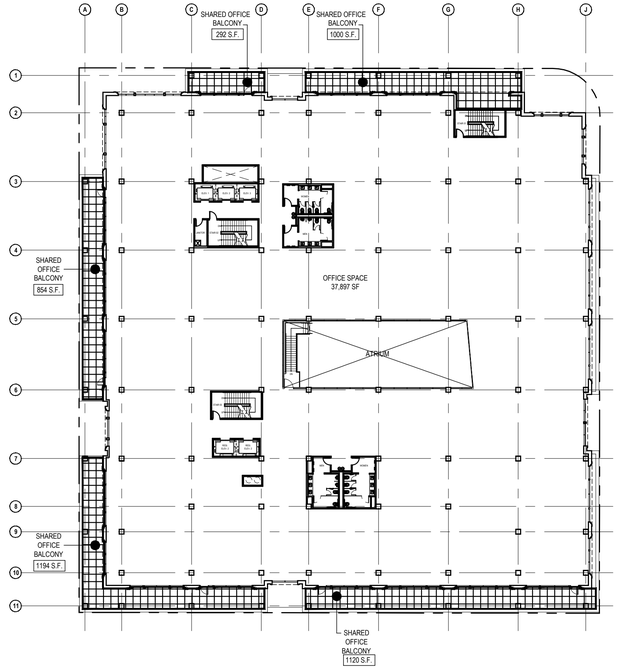


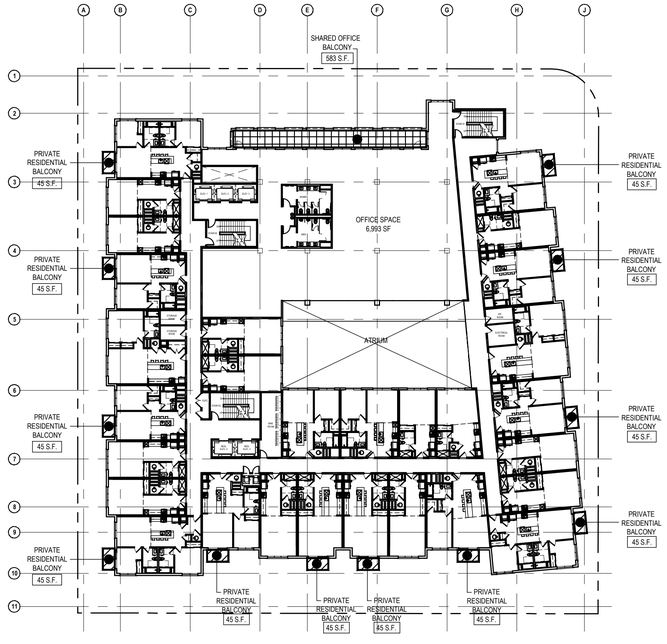
FOURTH LEVEL AREA PLAN

SCALE: 1/32" = 1'-0"



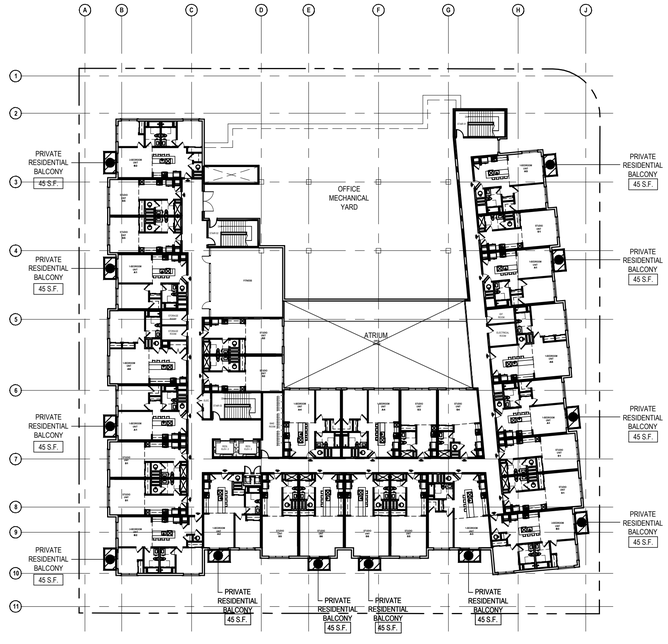
THIRD LEVEL AREA PLAN

SCALE: 1/32" = 1'-0"



FIFTH LEVEL AREA PLAN

SCALE: 1/32" = 1'-0"



SIXTH LEVEL AREA PLAN

SCALE: 1/32" = 1'-0"

OPEN SPACE LEGEND

- PRIVATE RESIDENTIAL OPEN SPACE
- SHARED RESIDENTIAL OPEN SPACE
- SHARED OFFICE OPEN SPACE

USABLE RESIDENTIAL OPEN SPACE CALCULATIONS

PER SMMC 27.38.130 RESIDENTIAL DEVELOPMENT STANDARDS.

(c) OPEN SPACE. RESIDENTIAL DEVELOPMENT SHALL INCLUDE PRIVATE USABLE OPEN SPACE EQUAL TO AT LEAST 80 SQUARE FEET (STATE DENSITY BONUS REQUEST TO REDUCE TO 57 S.F.) PER DWELLING UNIT OR COMMON USABLE OPEN SPACE EQUAL TO AT LEAST 150% OF THE PRIVATE USABLE OPEN SPACE REQUIREMENTS, OR A COMBINATION OF BOTH.

PRIVATE USABLE OPEN SPACE USED TO FULFILL THIS REQUIREMENT SHALL HAVE A USABLE AREA OF NOT LESS THAN 75 SQUARE FEET (STATE DENSITY BONUS REQUEST TO REDUCE TO 57 S.F.) AND SHALL NOT BE LESS THAN SIX (6) FEET IN ANY DIMENSION.

29 RESIDENTIAL UNITS HAVE PRIVATE OPEN SPACE MEETING THE ABOVE REQUIREMENTS:

PROVIDED PRIVATE OPEN SPACE =	2,365 S.F.
REQUIRED COMMON OPEN SPACE =	3,249 S.F.
PROVIDED COMMON OPEN SPACE =	3,698 S.F.
TOTAL REQUIRED OPEN SPACE MET THROUGH COMBINATION OF PRIVATE AND COMMON OPEN SPACE.	
TOTAL PROVIDED OPEN SPACE PRIVATE + COMMON =	6,063 S.F.

USABLE OFFICE OPEN SPACE CALCULATIONS

PER SMMC 27.38.090 NONRESIDENTIAL/OFFICE DEVELOPMENT STANDARDS.

(a) Open space shall be provided in an amount equal to one percent (1%) of the nonresidential floor area of the project, not including parking, provided that there shall be no requirement for open space where the resulting open space would be less than 200 square feet.

TOTAL OFFICE SPACE INCLUDING ALL FLOORS =	140,266 S.F.
1% OF TOTAL OFFICE SPACE INCLUDING ALL LEVELS = 0.01 X 140,266 =	1,403 S.F.
REQUIRED TOTAL OFFICE OPEN SPACE =	1,403 S.F.
PROVIDED TOTAL OFFICE OPEN SPACE =	7,058 S.F.

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In Association with:

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

RESIDENTIAL USABLE OPEN SPACE DIAGRAMS

A 0.24

PROJECT NO: 215513

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2019 CPC TABLE 422.1 - MINIMUM PLUMBING FACILITIES (EXCERPT)[1]

Each building shall be provided with sanitary facilities, including provisions for persons with disabilities as prescribed by the Department Having Jurisdiction. Table 422.1 applies to new buildings, additions to a building, and changes of occupancy or type in an existing building resulting in increased occupant load. In accordance with Sections 1.8.7 and 301.3, the Authority Having Jurisdiction may approve alternative design criteria when determining the minimum number of plumbing fixtures

For requirements for persons with disabilities, Chapter 11A or 11B of the California Building Code shall be used.

The total occupant load shall be determined in accordance with the Occupant Load Factor Table A.

Water Closets[3] (Fixtures per Person)		Lavatories (Fixtures per Person)		Urinals (Fixtures per Person)	Bathtubs or Showers (Fixtures per Person)	Drinking Fountains (Fixtures per Person)	Other
A-2 Assembly occupancy - restaurants[2]; pubs, lounges, night clubs and banquet halls							
Male: 1 : 1-50 2: 51-150 3: 151-300 4: 301-400	Female 1: 1-25 2: 26-50 3: 51-100 4: 101-200 6: 201-300 8: 301-400	Male: 1 : 1-150 2: 151-200 3: 201-400	Female 1: 1-150 2: 151-200 4: 201-400	Male: 1: 1-200 2: 201-300 3: 301-400 4: 401-600		1: 1-250 2: 251-500 3: 501-750	1 service sink or laundry tray
Over 400, add 1 fixture for each additional 250 males and 1 for each additional 125 females.		Over 400, add 1 fixture for each additional 250 males and 1 fixture for each 200 females.		Over 600, add 1 fixture for each additional 300 males.		Over 750, add 1 fixture for each additional 500 persons.	
B Business occupancy (office, professional or service type transactions) - banks, vet clinics, hospitals, car wash, banks, beauty salons, ambulatory health care facilities, laundries and dry cleaning, educational institutions (above high school), or training facilities not located within school, post offices and printing shops							
Male: 1 : 1-50 2: 51-100 3: 101-200 4: 201-400	Female 1: 1-15 2: 16-30 3: 31-50 4: 51-100 8: 101-200 11: 201-400	Male: 1 : 1-75 2: 76-150 3: 151-200 4: 201-300 5: 301-400	Female 1: 1-50 2: 51-100 3: 101-150 4: 151-200 5: 201-300 6: 301-400	Male: 1: 1-100 2: 101-200 3: 201-400 4: 401-600		1 per 150	1 service sink or laundry tray
Over 400, add 1 fixture for each additional 500 males and 1 for each additional 150 females.		Over 750, add 1 fixture for each additional 250 males and 1 fixture for each 200 females.		Over 600, add 1 fixture for each additional 300 males.			

1 The figures shown are based upon (1) fixture being the minimum required for the number of persons indicated or any fraction thereof.
2 A restaurant is defined as a business that sells food to be consumed on the premises.
a. The number of occupants for a drive-in restaurant shall be considered as equal to the number of parking stalls.
b. Hand-washing facilities shall be available in the kitchen for employees.
3 The total number of required water closets for females shall not be less than the total number of required water closets and urinals for males. This requirement shall not apply when single occupancy toilet facilities are provided for each sex in an A or E occupancy with an occupant load of less than 50. Either
a. The required urinal shall be permitted to be omitted or
b. If installed, the urinal shall not require a second water closet to be provided for the female.
4 In accordance with Sections 1.8.7 and 301.2, the Authority Having Jurisdiction may approve alternative design criteria when determining the minimum number of plumbing fixtures.
2 Building categories not shown on this table shall be considered separately by the Authority Having Jurisdiction.
3 Drinking fountains shall not be installed in toilet rooms.
4 Not applicable

TABLE A. OCCUPANT LOAD FACTOR

OCCUPANCY *, **	OCCUPANT LOAD FACTOR (square feet)
Group A	
1. Auditoriums, convention halls, dance floors, lodge rooms, stadiums, and casinos (where no fixed seating is provided) (use 1/2 "one-half" the number of fixed seating).	15
2. Conference rooms, dining rooms, drinking establishments, exhibit rooms, gymnasiums, lounges, stages, and similar uses, including restaurants[2] classified as Group B occupancies	30
3. Worship places; principal assembly area, educational and activity unit (where no fixed seating is provided) (use 1/2 "one-half" the number of fixed seating).	30
Group B	
Office or public buildings (areas accessible to the public	150

* Any uses not specifically listed shall be based on similar uses listed in this table.

** For building or space with mixed occupancies, use appropriate occupancy group for each area (for example, a school may have an "A" occupancy for the gymnasium, a "B"" occupancy for the office, an "E" occupancy for the classrooms, etc.).
Accessory areas may be excluded (for example: hallway, restroom, stair enclosure).

FIRE RESISTANCE

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) (TABLE 601)

BUILDING ELEMENT	TYPE I A	TYPE I B	TYPE II A[d]	TYPE II B	TYPE III A	TYPE III B	TYPE IV	TYPE VA[e]	TYPE VB
Primary Structural Frame[f] (See Section 202)	3[g]	2[a]	1	0	1	0	HT	1	0
Bearing Walls Exterior [f,g] Interior	3 3[g]	2 2[a]	1 1	0 0	2 1	2 0	2 1/HT	1 1	0 0
Nonbearing Walls And Partitions - Exterior	See Table 602								
Nonbearing Walls And Partitions - Interior[d]	0	0	0	0	0	0	See Section 602.4.6	0	0
Floor Construction and Associated Secondary Members (see Section 202)	2	2	1	0	1	0	HT	1	0
Roof Construction and Associated Secondary Members (see Section 202)	1 1/2[b]	1[b,c]	1[b,c]	0[c]	1[b,c]	0	HT	1[b,c]	0

a. Roof supports: Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour where supporting a roof only.
b1. Except in Group A, E, F-1, H, I, L, M, R-1, R-2, R-2.1 and S 1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of structural members shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.
b2. For Group A, E, I, L, R-1, R-2, and R-2.1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of members other than the structural frame shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant treated wood members shall be allowed to be used for such unprotected members.
b3. For one-story portions of Group A and E assembly occupancies the roof-framing system of Type I I A or Type I I I A construction may be of unprotected construction when such roof-framing system is open to the assembly area and does not contain concealed spaces.
c. In all occupancies, heavy timber shall be allowed where a 1-hour or less fire-resistance rating is required.
d. Not less than the fire-resistance rating required by other sections of this code.
e. Not less than the fire-resistance rating based on fire separation distance (see Table 602).
f. Not less than the fire-resistance rating as referenced in Section 704.10.

PLUMBING FIXTURE TABULATIONS

LEVEL 01 FLOOR (OFFICE)

B OCCUPANCY NET AREA: 40,322 S.F.

40,332 S.F / 150 S.F. PER PERSON = 268.88 PERSONS; ROUND UP TO 269 PERSONS
OR 134 MEN & 135 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	134 OCCUPANTS or 3	WATER CLOSETS:	135 OCCUPANTS or 8
URINALS:	134 OCCUPANTS or 2		
LAVATORIES:	134 OCCUPANTS or 2	LAVATORIES:	135 OCCUPANTS or 3

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 01 FLOOR OFFICE

PER CBC SECTION 422.1: WHERE APPLYING THE FIXTURE RATIOS IN TABLE 422.1 RESULTS IN FRACTIONAL NUMBERS, SUCH NUMBERS SHALL BE ROUNDED TO THE NEXT WHOLE NUMBER. FOR MULTIPLE OCCUPANCIES, FRACTIONAL NUMBERS SHALL BE FIRST SUMMED AND THEN ROUNDED TO THE NEXT WHOLE NUMBER.

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	3	WATER CLOSETS:	8
URINALS:	2		
LAVATORIES:	2	LAVATORIES:	3
HI-LOW DRINKING FOUNTAIN	1		
SERVICE SINK	1		

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	4	WATER CLOSETS:	8
URINALS:	4		
LAVATORIES:	6	LAVATORIES:	6
HI-LOW DRINKING FOUNTAIN	2		
SERVICE SINK	1		

LEVEL 02 FLOOR (OFFICE)

B OCCUPANCY NET AREA: 46,662 S.F.

46,662 S.F / 150 S.F. PER OCCUPANT = 311.01 OCCUPANTS; ROUND UP TO 312 OCCUPANTS
OR 156 MEN & 156 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	156 OCCUPANTS or 3	WATER CLOSETS:	156 OCCUPANTS or 8
URINALS:	156 OCCUPANTS or 2		
LAVATORIES:	156 OCCUPANTS or 2	LAVATORIES:	156 OCCUPANTS or 4

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 02 FLOOR

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	3	WATER CLOSETS:	8
URINALS:	2		
LAVATORIES:	2	LAVATORIES:	4
HI-LOW DRINKING FOUNTAIN	1		
SERVICE SINK	1		

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	4	WATER CLOSETS:	8
URINALS:	4		
LAVATORIES:	6	LAVATORIES:	6
HI-LOW DRINKING FOUNTAIN	2		
SERVICE SINK	1		

LEVEL 03 FLOOR (OFFICE)

A-2 OCCUPANCY NET AREA: 4,460 S.F. (EXTERIOR)

4,460 S.F / 15 S.F. PER OCCUPANT = 297.33 OCCUPANTS OR 298 OCCUPANTS
OR 149 MEN & 149 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	149 OCCUPANTS or 2	WATER CLOSETS:	149 OCCUPANTS or 4
URINALS:	149 OCCUPANTS or 1		
LAVATORIES:	149 OCCUPANTS or 1	LAVATORIES:	149 OCCUPANTS or 1

B OCCUPANCY NET AREA: 37,897 S.F.

37,897 S.F / 150 S.F. PER OCCUPANT = 252.52 OCCUPANTS; ROUND UP TO 253 OCCUPANTS
OR 129 MEN & 129 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	127 OCCUPANTS or 3	WATER CLOSETS:	127 OCCUPANTS or 8
URINALS:	127 OCCUPANTS or 2		
LAVATORIES:	126 OCCUPANTS or 2	LAVATORIES:	126 OCCUPANTS or 3

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 03 FLOOR

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	3	WATER CLOSETS:	8
URINALS:	2		
LAVATORIES:	2	LAVATORIES:	3
HI-LOW DRINKING FOUNTAIN	1		
SERVICE SINK	1		

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	4	WATER CLOSETS:	8
URINALS:	4		
LAVATORIES:	6	LAVATORIES:	6
HI-LOW DRINKING FOUNTAIN	2		
SERVICE SINK	1		

LEVEL 04 FLOOR (OFFICE)

A-2 OCCUPANCY NET AREA: 2,015 S.F. (EXTERIOR + INTERIOR)

2,015 S.F / 15 S.F. PER OCCUPANT = 134.33 OCCUPANTS OR 135 OCCUPANTS
OR 67 MEN & 68 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	67 OCCUPANTS or 2	WATER CLOSETS:	68 OCCUPANTS or 3
URINALS:	67 OCCUPANTS or 1		
LAVATORIES:	67 OCCUPANTS or 1	LAVATORIES:	68 OCCUPANTS or 1

B OCCUPANCY NET AREA: 7,653 S.F.

7,653 S.F / 150 S.F. PER OCCUPANT = 51.02 OCCUPANTS; ROUND UP TO 52 OCCUPANTS
OR 26 MEN & 26 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	26 OCCUPANTS or 1	WATER CLOSETS:	26 OCCUPANTS or 2
URINALS:	26 OCCUPANTS or 1		
LAVATORIES:	26 OCCUPANTS or 1	LAVATORIES:	26 OCCUPANTS or 1

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 04 FLOOR

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	1	WATER CLOSETS:	2
URINALS:	1		
LAVATORIES:	1	LAVATORIES:	1
HI-LOW DRINKING FOUNTAIN	1		
SERVICE SINK	1		

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	2		
LAVATORIES:	3	LAVATORIES:	3
HI-LOW DRINKING FOUNTAIN	1		
SERVICE SINK	1		

LEVEL 05 FLOOR (OFFICE)

A-2 OCCUPANCY NET AREA: 583 S.F. (EXTERIOR)

583 S.F / 15 S.F. PER OCCUPANT = 38.86 OCCUPANTS OR 39 OCCUPANTS
OR 19 MEN & 20 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	19 OCCUPANTS or 1	WATER CLOSETS:	20 OCCUPANTS or 1
URINALS:	19 OCCUPANTS or 1		
LAVATORIES:	19 OCCUPANTS or 1	LAVATORIES:	20 OCCUPANTS or 1

B OCCUPANCY NET AREA: 6,993 S.F.

6,993 S.F / 150 S.F. PER OCCUPANT = 46.62 OCCUPANTS; ROUND UP TO 52 OCCUPANTS
OR 26 MEN & 26 WOMEN

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	26 OCCUPANTS or 1	WATER CLOSETS:	26 OCCUPANTS or 1
URINALS:	26 OCCUPANTS or 1		
LAVATORIES:	26 OCCUPANTS or 1	LAVATORIES:	26 OCCUPANTS or 1

RESTROOM FIXTURE REQUIREMENTS AND PROVIDED TOTALS FOR LEVEL 05 FLOOR

MEN'S FIXTURES	REQUIRED:	WOMEN'S FIXTURES	REQUIRED:
WATER CLOSETS:	1	WATER CLOSETS:	1
URINALS:	1		
LAVATORIES:	1	LAVATORIES:	1
HI-LOW DRINKING FOUNTAIN	1		
SERVICE SINK	1		

MEN'S FIXTURES	PROVIDED:	WOMEN'S FIXTURES	PROVIDED:
WATER CLOSETS:	2	WATER CLOSETS:	4
URINALS:	2		
LAVATORIES:	3	LAVATORIES:	3
HI-LOW DRINKING FOUNTAIN	1		
SERVICE SINK	1		

ALLOWABLE BUILDING AREA

ABOVE-GRADE BUILDING (OFFICE AND RESIDENTIAL)			
CONSTRUCTION TYPE: I - B			
AUTOMATIC SPRINKLER CONFIGURATION:	SM (BUILDING TWO OR MORE STORIES ABOVE GRADE PLANE, EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1).		
	OCCUPANCY CLASSIFICATION		
	B	R-2	A-2
MAXIMUM HEIGHT (TABLE 504.2)	180'-0"	180'-0"	180'-0"
MAXIMUM NUMBER OF STORIES (TABLE 504.4)	12	12	12
SM ALLOWABLE AREA FACTOR (TABLE 506.2)	UNLIMITED	UNLIMITED	UNLIMITED
NS AREA FACTOR (TABLE 506.2)	UNLIMITED	UNLIMITED	UNLIMITED
HEIGHT OF PROPOSED BUILDING	86'-2" (TOP OF ROOF)		
NUMBER OF STORIES ABOVE GRADE	6		
PROPOSED AREA PER FLOOR			
LEVEL 01	46,190 S.F.	B/ R-2	
LEVEL 02	46,662 S.F.	B	
LEVEL 03	37,897 S.F.	A-2/ B	
LEVEL 04	30,879 S.F.	A-2/B/ R-2	
LEVEL 05	30,233 S.F.	A-2/B/R-2	
LEVEL 06	24,440 S.F.	B/R-2	
TOTAL BUILDING AREA ABOVE GRADE	**216,301 S.F.**		

BELOW GRADE BUILDING (PARKING GARAGE)		
CONSTRUCTION TYPE: I - A		
OCCUPANCY CLASSIFICATION: S-2		
AUTOMATIC SPRINKLER CONFIGURATION:	S1 (BUILDING A MAXIMUM OF ONE STORY ABOVE GRADE PLANE, EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1).	
	OCCUPANCY CLASSIFICATION	
	S-2	
MAXIMUM HEIGHT (TABLE 504.2)	UNLIMITED	
MAXIMUM NUMBER OF STORIES (TABLE 504.4)	UNLIMITED	
S1 ALLOWABLE AREA FACTOR (TABLE 506.2)	UNLIMITED	
NS AREA FACTOR (TABLE 506.2)	UNLIMITED	
PROPOSED AREA PER FLOOR		
BUILDING LEVEL	BUILDING AREA	
PARKING LEVEL -2	48,222 S.F.	
PARKING LEVEL -1	48,222 S.F.	
TOTAL BUILDING AREA BELOW GRADE	**96,444 S.F.**	

SUMMARY:

ABOVE GRADE OFFICE AND RESIDENTIAL:
TYPE I-A CONSTRUCTION (BUSINESS B OCCUPANCY LEVEL 01 TO LEVEL 03)
TYPE V-B CONSTRUCTION (RESIDENTIAL R-2 OCCUPANCY LEVEL 04 TO LEVEL 06)

- Rating of building elements:
  1. Primary structural frame: 2 hours (1 hour where only supporting roof)
  2. Exterior bearing walls: 2 hours (unless less than 5 feet from property line, then 3 hours)
  3. Interior bearing walls: 2 hours (1 hour where only supporting roof)
  4. Nonbearing interior walls and partitions: 0 hours
  5. Floor construction and associated secondary members: 2 hours
  6. Roof construction and associated secondary members: 1 hour.

BELOW GRADE PARKING STRUCTURE:
TYPE I-A CONSTRUCTION
- Below grade Parking Structure: Type I-A construction.
- Three-hour rated construction is required for exterior walls and concrete slab separating garage from the office building. Minimum concrete thickness to be 6.2".
- Two-hour rating is required for other floors with minimum concrete thickness of 5".
- All shafts and stairs to be constructed with two-hour partitions.

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In Association with:

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 20
SAN MATEO, CA 94401

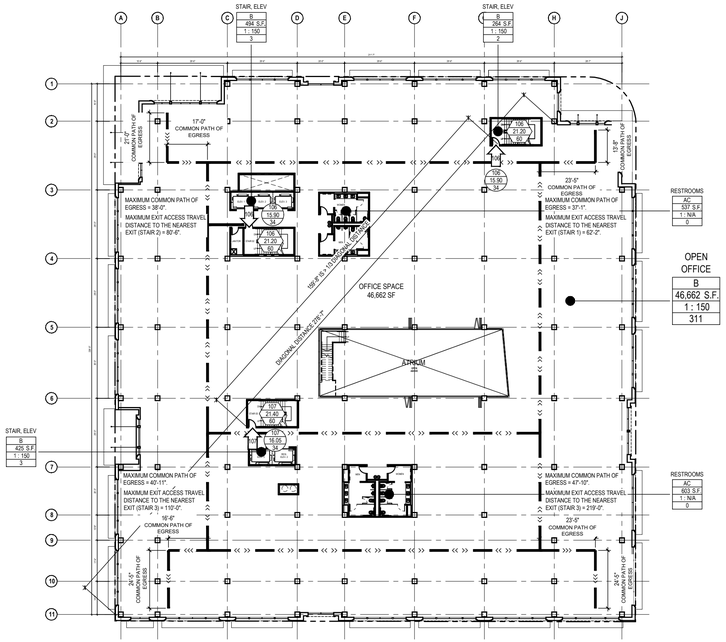
DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

BUILDING CODE PROJECT DATA

A0.31

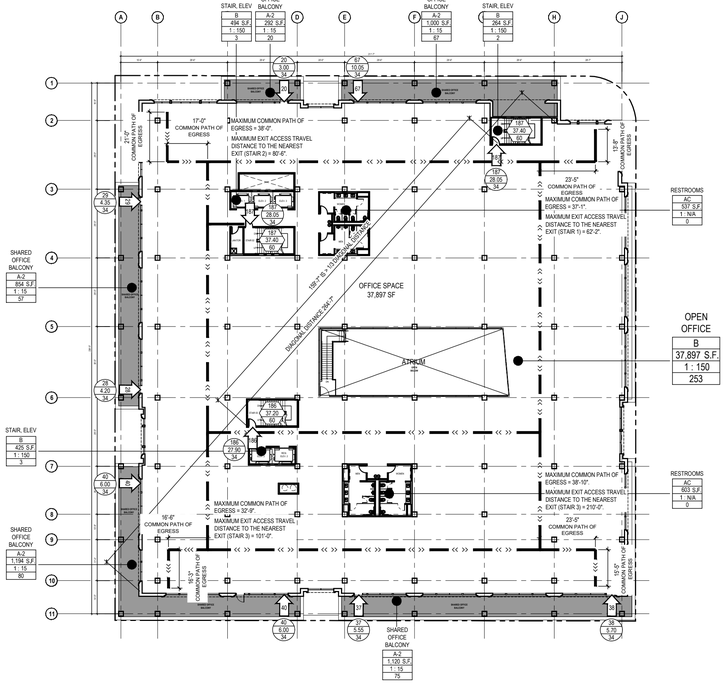
PROJECT NO: 215513

P:\2021 Jobs\215 Block 20\01 Planning App\01 ARB\00 SD Permit PA Submittal\215513-A1.2.dwg - Aug 22, 2022, 9:59am - rajh



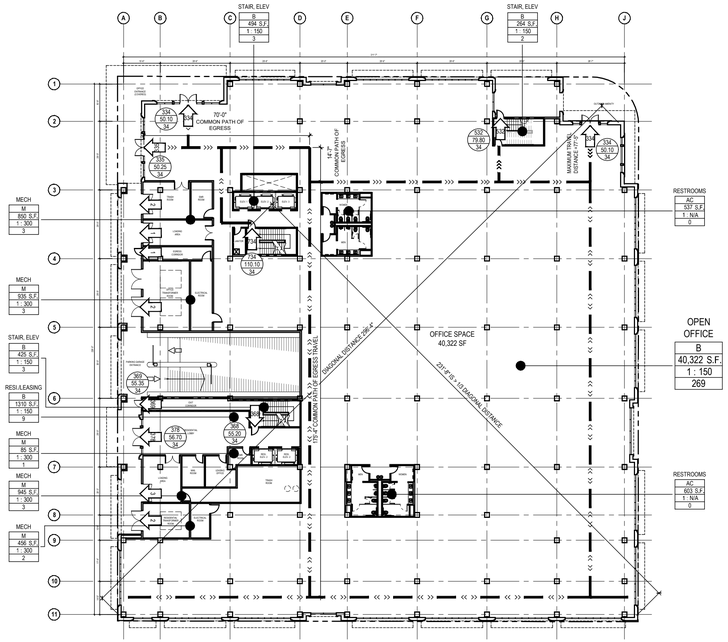
SECOND LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



THIRD LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



FIRST LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"

SYMBOL KEY

AREA OCCUPANT LOAD DESIGNATION

ROOM NAME
B — OCCUPANCY CLASSIFICATION OF THE SPACE
12,444 S.F. — SQUARE FOOTAGE
1 : 150 — OCCUPANT LOAD FACTOR
- — NUMBER OF OCCUPANTS

DOORWAY OCCUPANT LOAD DESIGNATION

100 — NUMBER OF OCCUPANTS
20.0 — EXIT WIDTH REQUIRED
34 — EXIT WIDTH PROVIDED

STAIRWAY OCCUPANT LOAD DESIGNATION

100 — NUMBER OF OCCUPANTS
30.0 — STAIR WIDTH REQUIRED (INCHES)
60 — STAIR WIDTH PROVIDED (INCHES)

PATH OF TRAVEL DESIGNATION

EXIT IN ONE DIRECTION
EXIT IN BOTH DIRECTIONS

DIRECTION OF EGRESS/OCCUPANT LOAD DESIGNATION

25 — DIRECTION OF EGRESS
OCCUPANT LOAD

FIRE EXTINGUISHERS AND FIRE HOSES

F.E — FIRE EXTINGUISHER BRACKET-MOUNTED
F.E.C. — F.E.C.

EXIT SIGNAGE DESIGNATION

SIGN FACE DIRECTION
DIRECTION OF TRAVEL

RATED SEPARATION DESIGNATION

1-HOUR RATED FIRE SEPARATION
2-HOUR RATED FIRE SEPARATION

EXITING WIDTH TABULATIONS

THIS BUILDING IS EQUIPPED WITH AN EMERGENCY VOICE/ALARM SYSTEM PER CBC SECTION 907.5.2.2 IN ADDITION TO THE AUTOMATIC SPRINKLER SYSTEM. EXIT WIDTH REQUIRED IS 0.2" PER PERSON FOR STAIRS AND 0.15" PER DOORS AND OTHER EXIT ELEMENTS, PER CBC SECTION 1005.3.

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In Association with:

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

EGRESS DIAGRAMS

A 0.32

PROJECT NO: 215513

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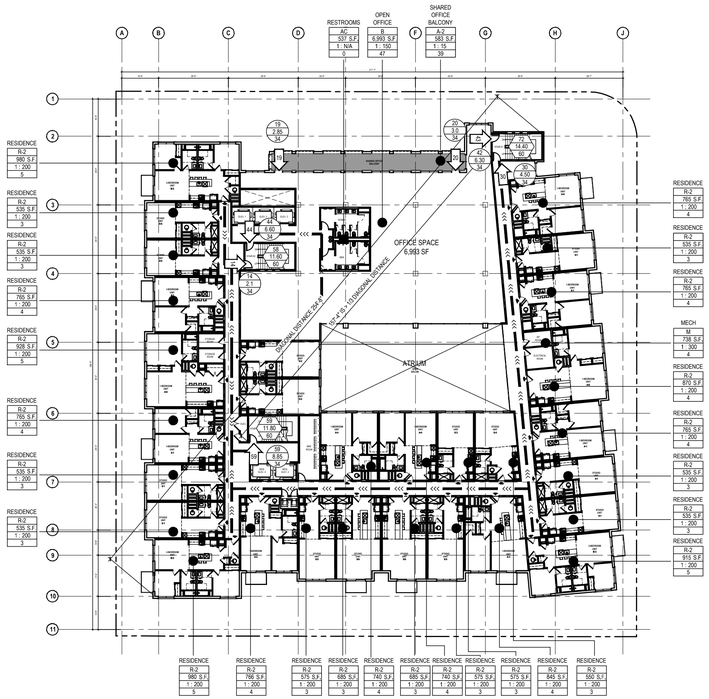
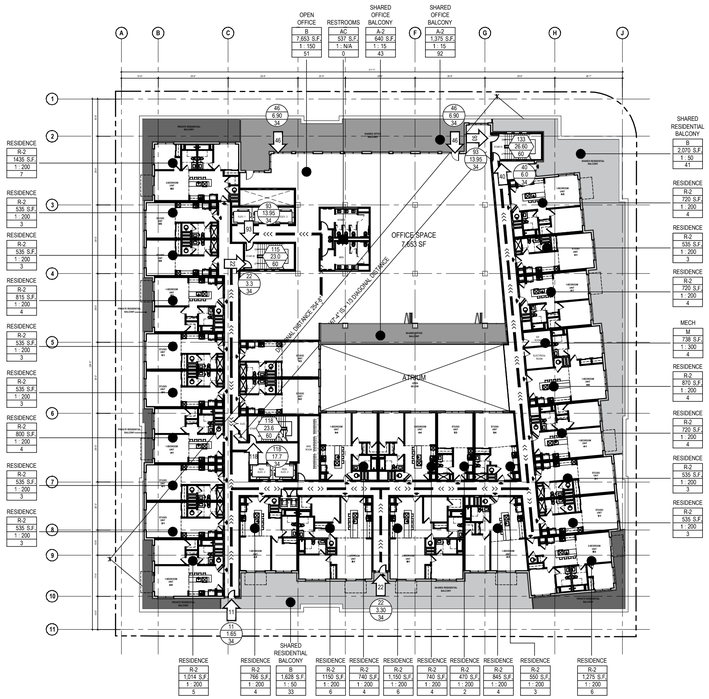


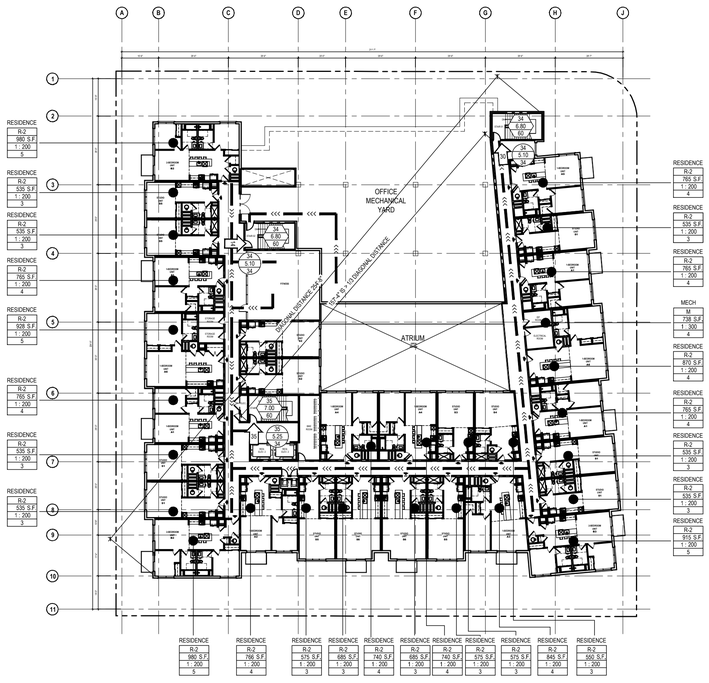
FIFTH LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



FOURTH LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"



SIXTH LEVEL EGRESS PLAN

SCALE: 1/32" = 1'-0"

SYMBOL KEY

AREA OCCUPANT LOAD DESIGNATION

ROOM NAME
B
12,444 S.F.
1 : 150
-
- OCCUPANCY CLASSIFICATION OF THE SPACE
- SQUARE FOOTAGE
- OCCUPANT LOAD FACTOR
- NUMBER OF OCCUPANTS

DOORWAY OCCUPANT LOAD DESIGNATION

100 — NUMBER OF OCCUPANTS
20.0 — EXIT WIDTH REQUIRED
34 — EXIT WIDTH PROVIDED

STAIRWAY OCCUPANT LOAD DESIGNATION

100 — NUMBER OF OCCUPANTS
30.0 — STAIR WIDTH REQUIRED (INCHES)
60 — STAIR WIDTH PROVIDED (INCHES)

PATH OF TRAVEL DESIGNATION

EXIT IN ONE DIRECTION
EXIT IN BOTH DIRECTIONS

DIRECTION OF EGRESS/OCCUPANT LOAD DESIGNATION

25 — DIRECTION OF EGRESS
OCCUPANT LOAD

FIRE EXTINGUISHERS AND FIRE HOSES

F.E — FIRE EXTINGUISHER BRACKET-MOUNTED
F.E.C. — F.E.C.

EXIT SIGNAGE DESIGNATION

SIGN FACE DIRECTION
DIRECTION OF TRAVEL

RATED SEPARATION DESIGNATION

1-HOUR RATED FIRE SEPARATION
2-HOUR RATED FIRE SEPARATION

EXITING WIDTH TABULATIONS

THIS BUILDING IS EQUIPPED WITH AN EMERGENCY VOICE/ALARM SYSTEM PER CBC SECTION 907.5.2.2 IN ADDITION TO THE AUTOMATIC SPRINKLER SYSTEM. EXIT WIDTH REQUIRED IS 0.2" PER PERSON FOR STAIRS AND 0.15" PER DOORS AND OTHER EXIT ELEMENTS, PER CBC SECTION 1005.3.

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In Association with:

PLANNING APPLICATION FOR:

WINDY HILL PROPERTY VENTURES

BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

EGRESS DIAGRAMS

A 0.33

PROJECT NO: 215513

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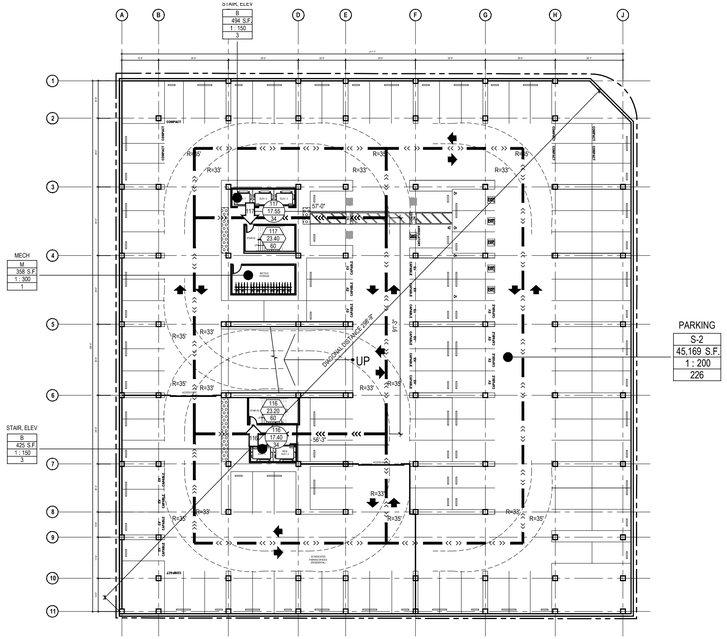
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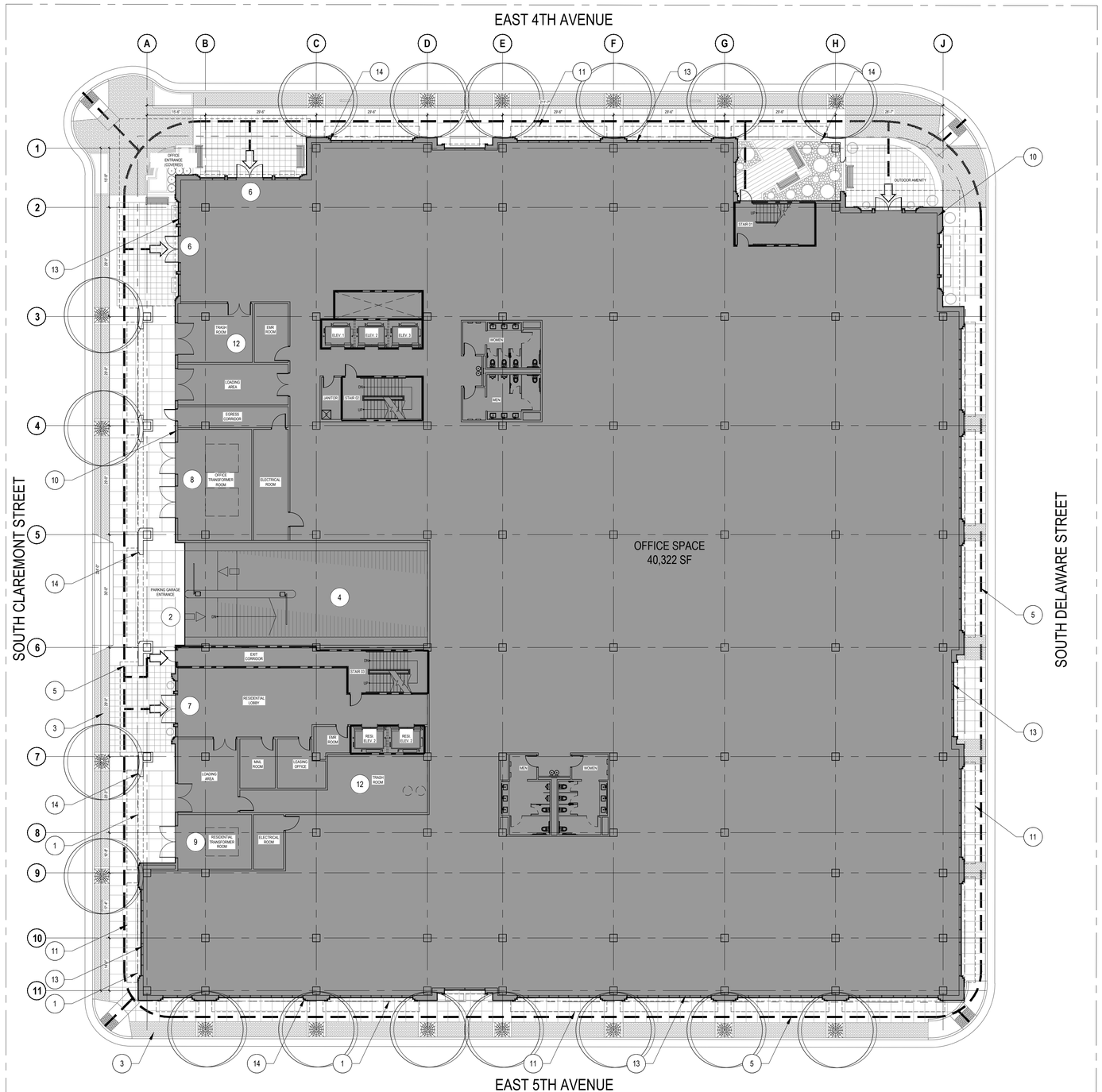
D-1APL ELEV
B
494 S.F
1 : 150
3
MECH
M
358 S.F
1 : 300
1
STAIR, ELEV
B
425 S.F
1 : 150
3
PARKING
S-2
45,169 S.F.
1 : 200
226
DIAGONAL DENTIST OFFICE
UP
R=33'
R=35'
57'-0"
56'-3"
117
117.40
117
23.20
117
17.40
117
23.40
117
22.60
117
23.20
117
17.40
117
23.20



SITE PLAN

SCALE: 1/16" = 1'-0"

0 5 10 20 30 50 70

PROJECT DATA

ASSESSOR'S PARCEL NO.: 034186110, 034186090, 034186080, 034186070, 034186060

ZONING	CBD/S - CENTRAL BUSINESS SUPPORT
SITE AREA	±50,501 S.F./ 1.16 ACRES
BUILDING HEIGHT	55'-0" MAXIMUM
MAX F.A.R.	3.0 / 151,542 S.F.
MAX RESIDENTIAL UNITS (50 PER ACRE)	58 UNITS*
*CALIFORNIA DENSITY BONUS (ADDITIONAL 1.50)	87 UNITS
BUILD TO REQUIREMENT	PROVIDED ON E. 4TH AVE & S. CLAREMONT ST.**
** EXCEPTIONS ALLOWED UP 40% ON FRONTAGE	
STREETWALL	26' MIN HEIGHT
STREETWALL STEP BACK	REQUIRED THREE SIDES

FLOOR AREA (6-STORY BUILDING)

FIRST LEVEL - OFFICE	42,841 S.F.
FIRST LEVEL - RESIDENTIAL	3,349 S.F.
SECOND LEVEL - OFFICE	46,662 S.F.
THIRD LEVEL - OFFICE	37,897 S.F.
FOURTH LEVEL - OFFICE	7,653 S.F.
FOURTH LEVEL - RESIDENTIAL	23,226 S.F.
FIFTH LEVEL - OFFICE	6,993 S.F.
FIFTH LEVEL - RESIDENTIAL	23,240 S.F.
SIXTH LEVEL - RESIDENTIAL	24,440 S.F.
TOTAL BUILDING AREA	**216,301 S.F.**

TOTAL FLOOR AREA RATIO (216,301 S.F./50,501 S.F.)	**4.28**
OFFICE AREA	**142,046 S.F.**
OFFICE BALCONY	**7,058 S.F.**
OFFICE TOTAL	**149,104 S.F.**

DWELLING UNIT CALCULATION

FOURTH FLOOR	28 D.U.
FIFTH FLOOR	29 D.U.
SIXTH FLOOR	29 D.U.
TOTAL # DWELLING UNITS	**86 D.U.**

PROPOSED DWELLING UNIT MIX (ALL FLOORS)

(41) STUDIOS OR **47%**
(35) ONE-BEDROOM UNITS OR **41%**
(10) TWO-BEDROOM UNITS OR **12%**

TOTAL RESIDENTIAL AREA **70,906 S.F.**
(BALCONY AREAS NOT INCLUDED IN N.S.F.)

PARKING ANALYSIS

PARKING - REQUIRED	
OFFICE(1.87/1,000)	263 SPACES
RESIDENTIAL (.5 / DWELLING UNIT - ALL UNIT TYPES) - DEDICATED	43 SPACES
TOTAL PARKING	**306 SPACES**

PARKING - PROVIDED	
OFFICE - STANDARD/ COMPACT AND H.C.	142 SPACES
OFFICE - TANDEM	84 SPACES
RESIDENTIAL	43 SPACES
TOTAL PARKING	**269 SPACES**

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

1. EXISTING PROPERTY LINE
2. VEHICLE ENTRY TO ON GRADE PARKING GARAGE w/ VISUAL AND AUDIBLE WARNINGS
3. SIDEWALK
4. RAMP TO UNDERGROUND PARKING STRUCTURE w/TRANSITION SLOPE TOP & BOTTOM
5. ACCESSIBLE PATH OF TRAVEL SHOWN DASHED
6. PRIMARY OFFICE ENTRY
7. PRIMARY RESIDENTIAL ENTRY
8. OFFICE TRANSFORMER ROOM
9. RESIDENTIAL TRANSFORMER ROOM
10. EXTERIOR WALL
11. DASHED LINE INDICATES CANOPIES ABOVE
12. TRASH ROOM
13. EXTERIOR GLAZING SYSTEM
14. MOLDING

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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 20
SAN MATEO, CA 94401

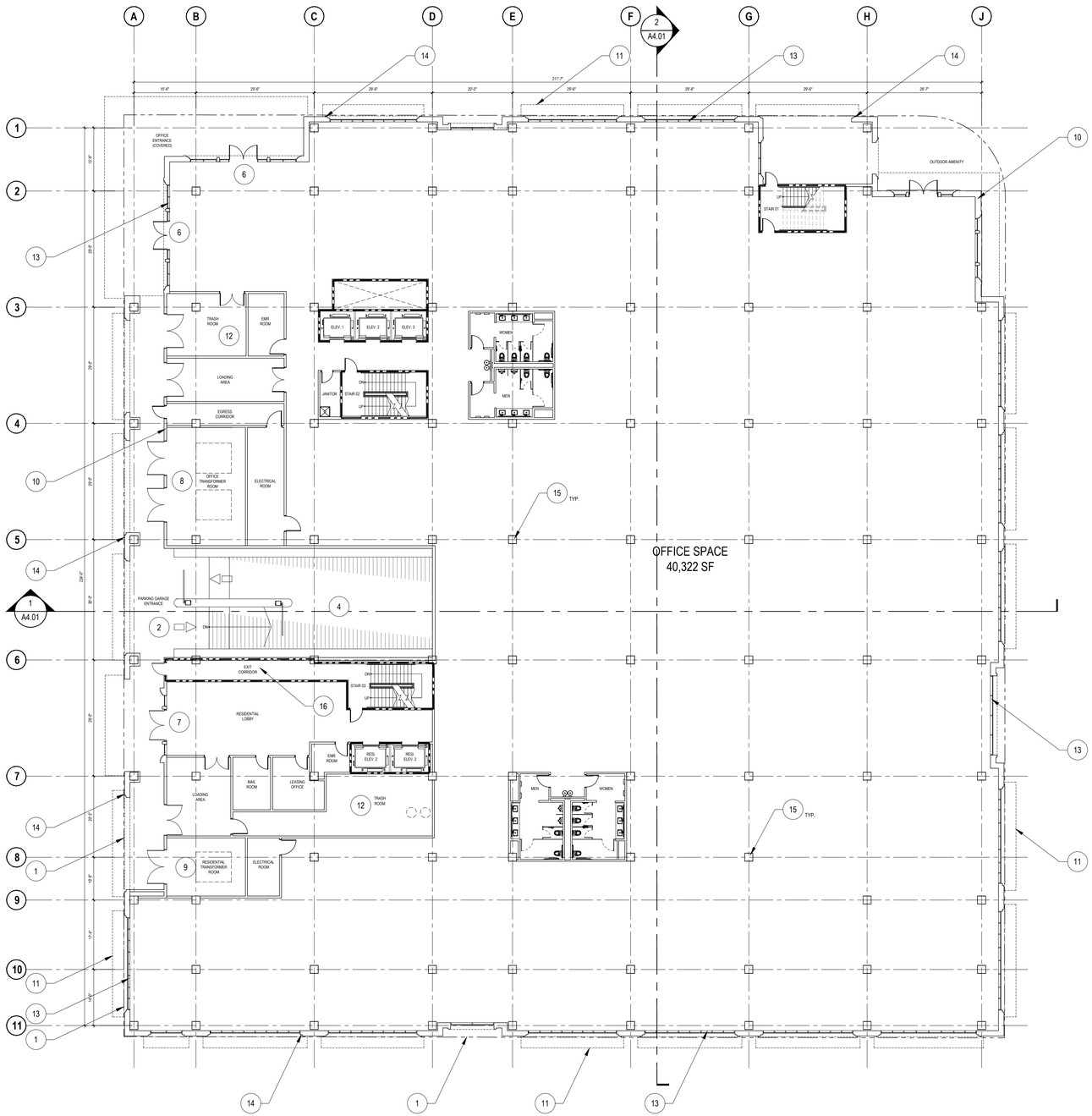
DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

SITE PLAN

A1.01

PROJECT NO: 215513

P:\2021 Jobs\2115 Block 20\04 Planning App\01 ARB\02 SD Plans\ Pre Submittal\2115 A1.01.rvt - Aug 23, 2022, 9:08am - rajh



FIRST LEVEL PLAN

SCALE: 1/16" = 1'-0"

0 10 20 40 60 80

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

1. EXISTING PROPERTY LINE
2. VEHICLE ENTRY TO ON GRADE PARKING GARAGE w/ VISUAL AND AUDIBLE WARNINGS
3. SIDEWALK
4. RAMP TO UNDERGROUND PARKING STRUCTURE w/TRANSITION SLOPE TOP & BOTTOM
5. ACCESSIBLE PATH OF TRAVEL SHOWN DASHED
6. PRIMARY OFFICE ENTRY
7. PRIMARY RESIDENTIAL ENTRY
8. OFFICE TRANSFORMER ROOM
9. RESIDENTIAL TRANSFORMER ROOM
10. EXTERIOR WALL
11. DASHED LINE INDICATES CANOPIES ABOVE
12. TRASH ROOM
13. EXTERIOR GLAZING SYSTEM
14. MOLDING
15. STRUCTURAL COLUMN
16. EXIT PASSAGEWAY

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PLANNING APPLICATION FOR:

WINDY HILL PROPERTY VENTURES

BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

FIRST LEVEL PLAN

A 2.01

PROJECT NO: 215513

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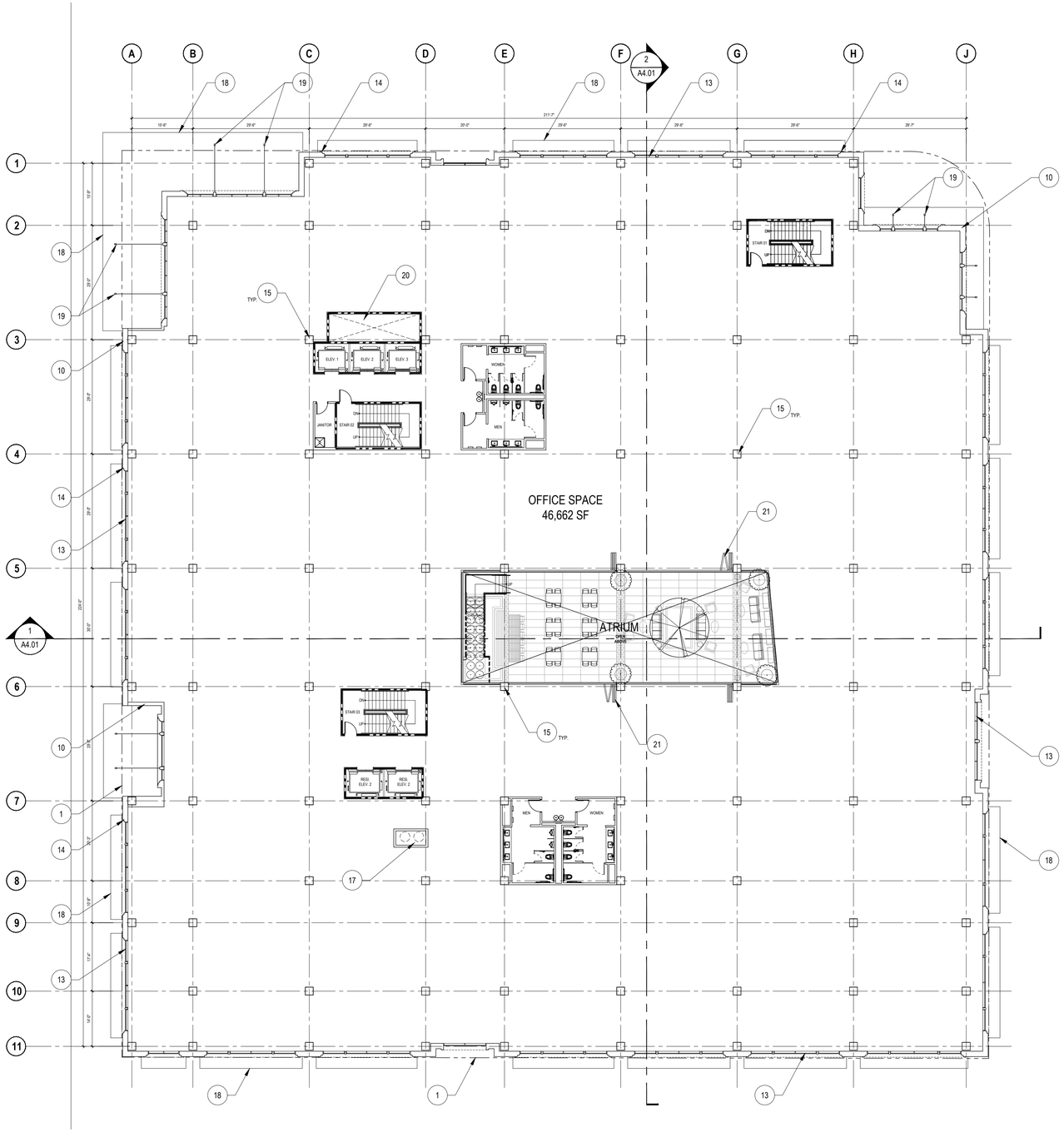

SECOND LEVEL PLAN

SCALE: 1/16" = 1'-0"

0 10 20 40 60 80

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

1. EXISTING PROPERTY LINE
2. VEHICLE ENTRY TO ON GRADE PARKING GARAGE w/ VISUAL AND AUDIBLE WARNINGS
3. SIDEWALK
4. RAMP TO UNDERGROUND PARKING STRUCTURE w/TRANSITION SLOPE TOP & BOTTOM
5. ACCESSIBLE PATH OF TRAVEL SHOWN DASHED
6. PRIMARY OFFICE ENTRY
7. PRIMARY RESIDENTIAL ENTRY
8. OFFICE TRANSFORMER ROOM
9. RESIDENTIAL TRANSFORMER ROOM
10. EXTERIOR WALL
11. DASHED LINE INDICATES CANOPIES ABOVE
12. TRASH ROOM
13. EXTERIOR GLAZING SYSTEM
14. MOLDING
15. STRUCTURAL COLUMN
16. EXIT PASSAGEWAY
17. TRASH CHUTE
18. CANOPIES BELOW
19. HANGER ROD FOR CANOPIES BELOW
20. SHAFT
21. NANAWALL GLASS PARTITION: INTERIOR ALUMINUM FRAMED FOLDING GLASS WALLS

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In Association with:

PLANNING APPLICATION FOR:

WINDY HILL PROPERTY VENTURES

BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

SECOND LEVEL PLAN

A 2.02

PROJECT NO: 215513

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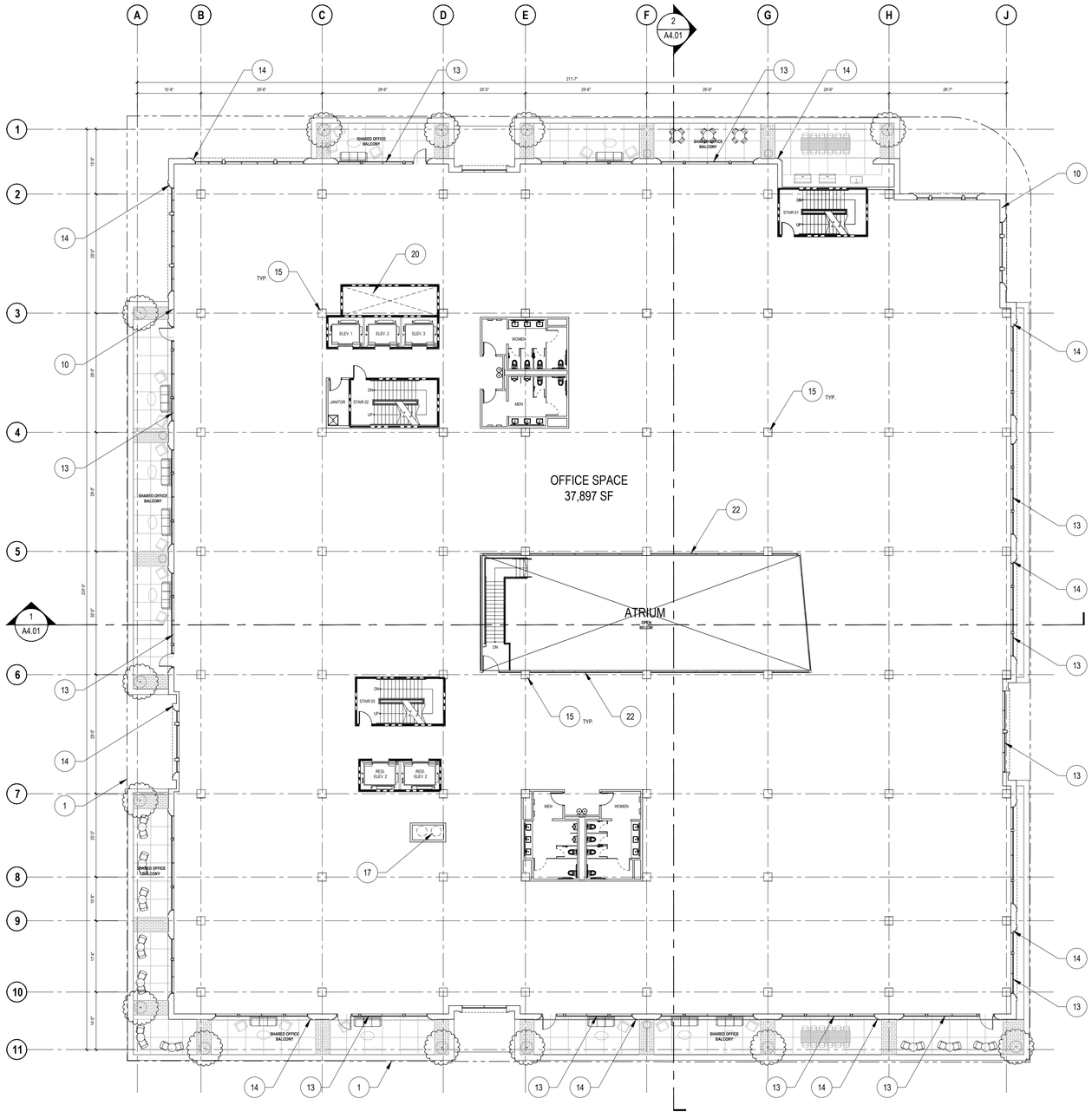

THIRD LEVEL PLAN

SCALE: 1/16" = 1'-0"

0 10 20 40 60 80

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

1. EXISTING PROPERTY LINE
2. VEHICLE ENTRY TO ON GRADE PARKING GARAGE w/ VISUAL AND AUDIBLE WARNINGS
3. SIDEWALK
4. RAMP TO UNDERGROUND PARKING STRUCTURE w/TRANSITION SLOPE TOP & BOTTOM
5. ACCESSIBLE PATH OF TRAVEL SHOWN DASHED
6. PRIMARY OFFICE ENTRY
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8. OFFICE TRANSFORMER ROOM
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14. MOLDING
15. STRUCTURAL COLUMN
16. EXIT PASSAGEWAY
17. TRASH CHUTE
18. CANOPIES BELOW
19. HANGER ROD FOR CANOPIES BELOW
20. SHAFT
21. NANAWALL GLASS PARTITION: INTERIOR ALUMINUM FRAMED FOLDING GLASS WALLS
22. INTERIOR ALUMINUM / GLASS STOREFRONT SYSTEM

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PLANNING APPLICATION FOR:

WINDY HILL PROPERTY VENTURES

BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

THIRD LEVEL PLAN

A 2.03

PROJECT NO: 215513

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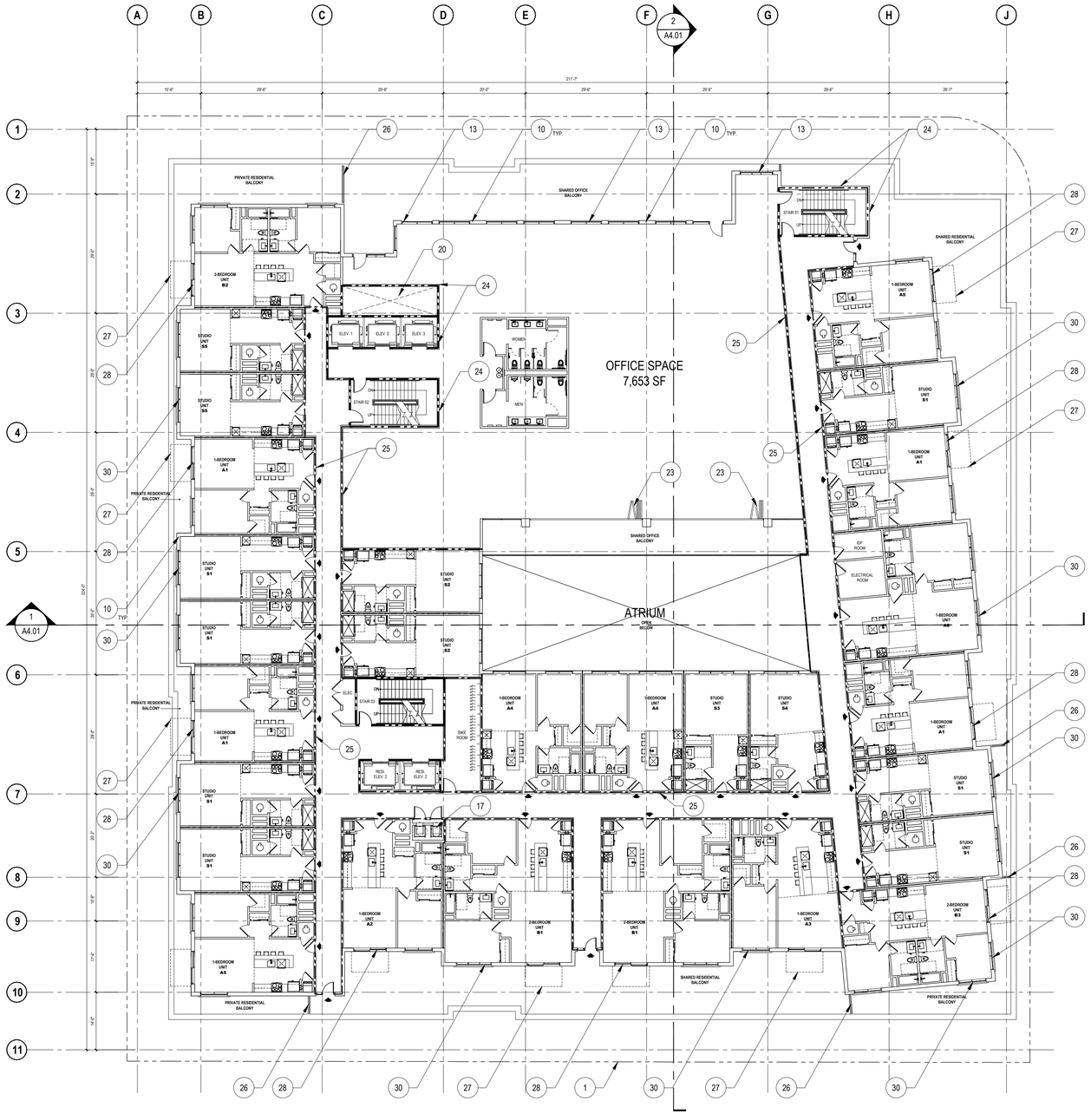

FOURTH LEVEL PLAN

SCALE: 1/16" = 1'-0"

0 10 20 40 60 80

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

1. EXISTING PROPERTY LINE
2. VEHICLE ENTRY TO ON GRADE PARKING GARAGE w/ VISUAL AND AUDIBLE WARNINGS
3. SIDEWALK
4. RAMP TO UNDERGROUND PARKING STRUCTURE w/TRANSITION SLOPE TOP & BOTTOM
5. ACCESSIBLE PATH OF TRAVEL SHOWN DASHED
6. PRIMARY OFFICE ENTRY
7. PRIMARY RESIDENTIAL ENTRY
8. OFFICE TRANSFORMER ROOM
9. RESIDENTIAL TRANSFORMER ROOM
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19. HANGER ROD FOR CANOPIES BELOW
20. SHAFT
21. NANAWALL GLASS PARTITION: INTERIOR ALUMINUM FRAMED FOLDING GLASS WALLS
22. INTERIOR ALUMINUM / GLASS STOREFRONT SYSTEM
23. EXTERIOR ALUMINUM / FRAMED FOLDING GLASS WALLS
24. 2HR FIRE RATED WALL
25. 1HR FIRE RATED WALL
26. PATIO DIVIDERS
27. DASHED LINE INDICATES BALCONIES ABOVE
28. ALUMINUM / FRAMED SLIDING GLASS DOOR
29. BALCONIES
30. ALUMINUM / FRAMED FIXED GLASS WINDOW

RESIDENTIAL UNITS COUNT:

4TH FLOOR: 28 UNITS	
STUDIOS	13
1BR	11
2BR	4

5TH FLOOR: 29 UNITS	
STUDIOS	15
1BR	11
2BR	3

6TH FLOOR: 29 UNITS	
STUDIOS	15
1BR	11
2BR	3

TOTAL:	
STUDIOS	43 (50%)
1BR	33 (38%)
2BR	10 (12%)
	86

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BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

FOURTH LEVEL PLAN

A 2.04

PROJECT NO: 215513

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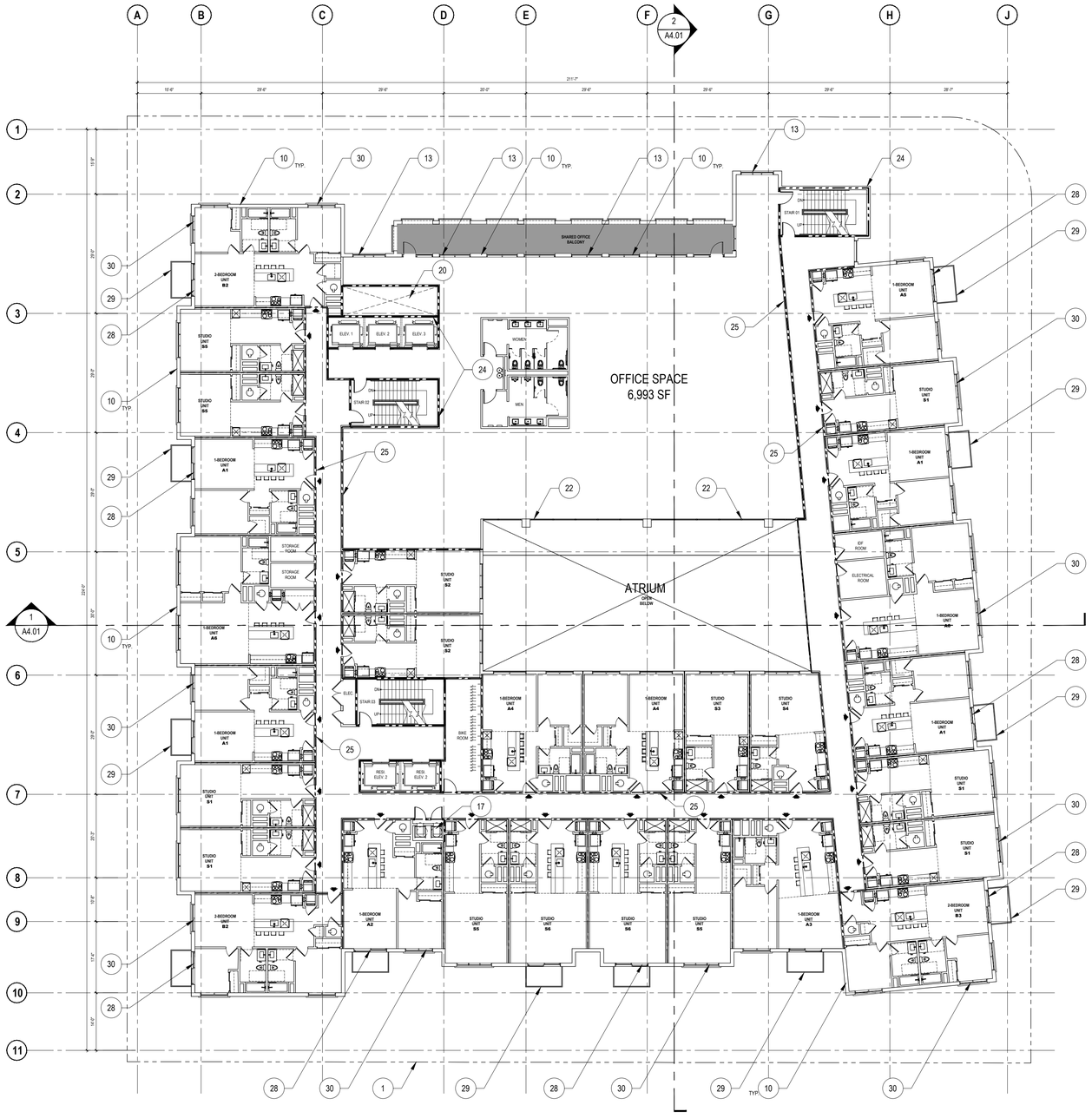

FIFTH LEVEL PLAN

SCALE: 1/16" = 1'-0"

0 10 20 40 60 80

KEYNOTES

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30. ALUMINUM / FRAMED FIXED GLASS WINDOW

RESIDENTIAL UNITS COUNT:

4TH FLOOR: 28 UNITS	
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1BR	11
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STUDIOS	15
1BR	11
2BR	3

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TOTAL:	
STUDIOS	43 (50%)
1BR	33 (38%)
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In Association with:

PLANNING APPLICATION FOR:

WINDY HILL PROPERTY VENTURES

BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

FIFTH LEVEL PLAN

A 2.05

PROJECT NO: 215513

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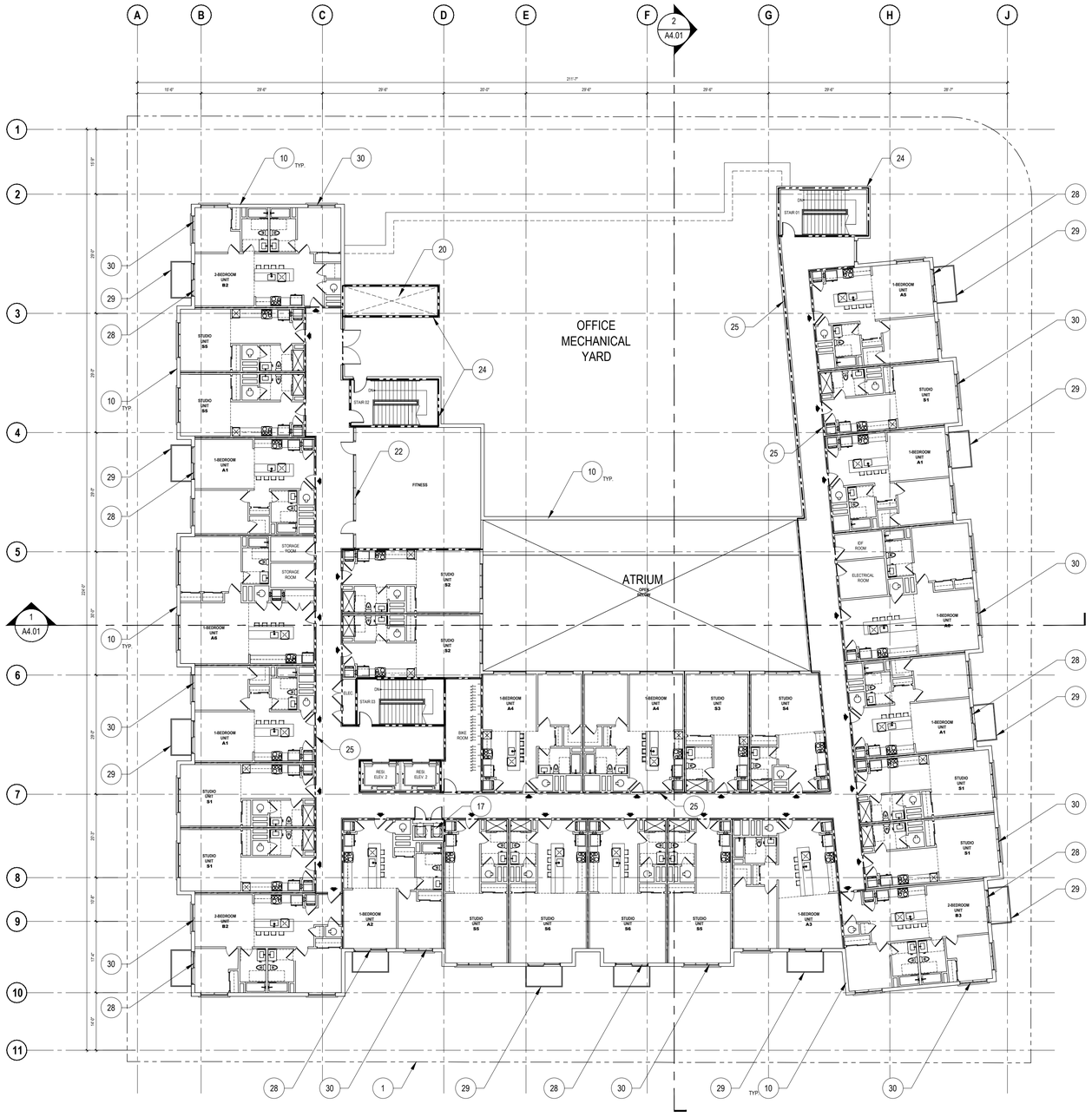

SIXTH LEVEL PLAN

SCALE: 1/16" = 1'-0"

0 10 20 40 60 80

KEYNOTES

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24. 2HR FIRE RATED WALL
25. 1HR FIRE RATED WALL
26. PATIO DIVIDERS
27. DASHED LINE INDICATES BALCONIES ABOVE
28. ALUMINUM / FRAMED SLIDING GLASS DOOR
29. BALCONIES
30. ALUMINUM / FRAMED FIXED GLASS WINDOW

RESIDENTIAL UNITS COUNT:

4TH FLOOR: 28 UNITS	
STUDIOS	13
1BR	11
2BR	4

5TH FLOOR: 29 UNITS	
STUDIOS	15
1BR	11
2BR	3

6TH FLOOR: 29 UNITS	
STUDIOS	15
1BR	11
2BR	3

TOTAL:	
STUDIOS	43 (50%)
1BR	33 (38%)
2BR	10 (12%)
	86

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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

SIXTH LEVEL PLAN

A 2.06

PROJECT NO: 215513

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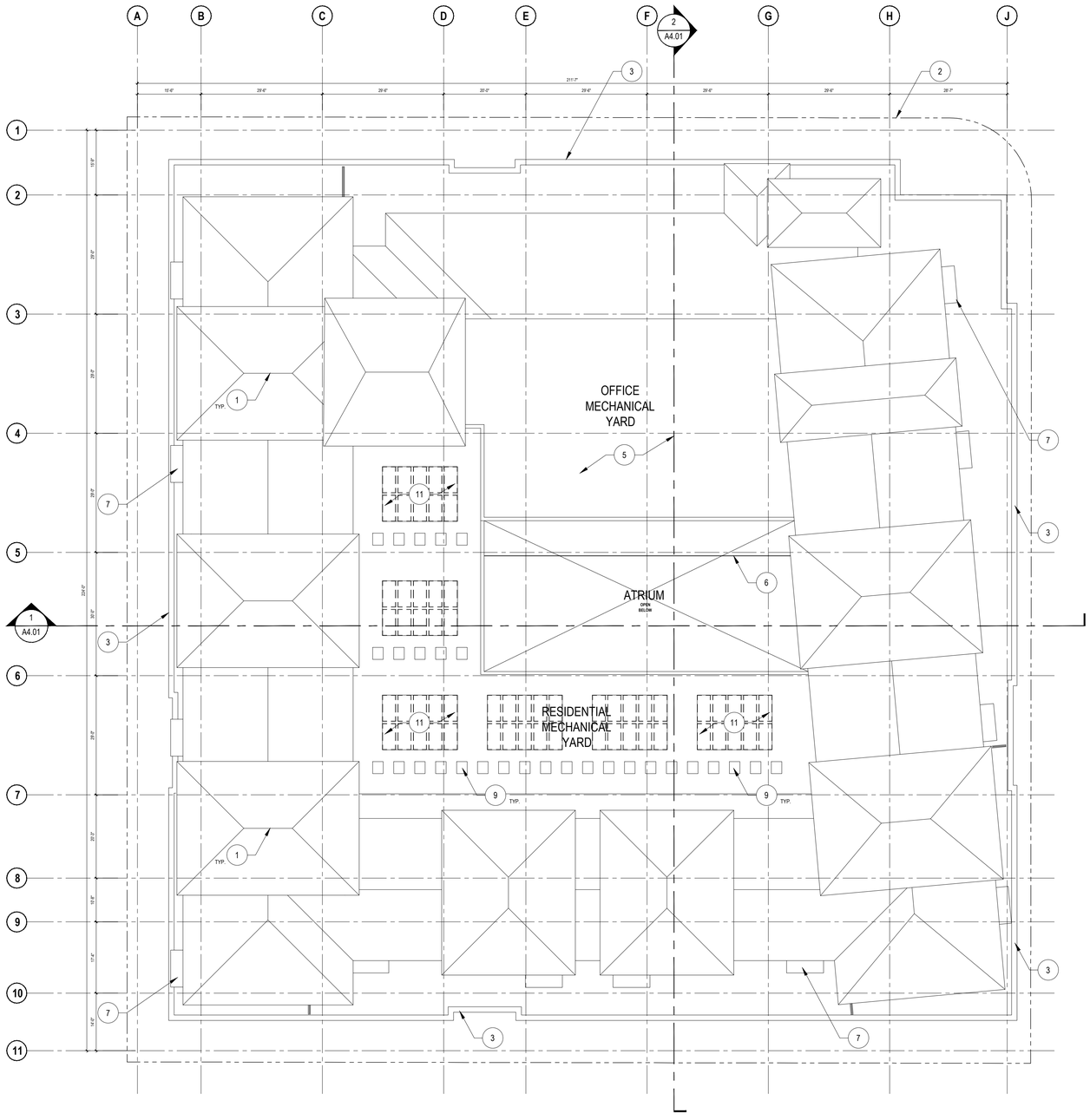

ROOF PLAN

SCALE: 1/16" = 1'-0"

0 10 20 40 60 80

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

1. RIDGE
2. EXISTING PROPERTY LINE
3. PARAPET WALL, SEE ELEVATION FOR HEIGHTS
4. ROOF SCREEN, SEE ELVATION FOR HEIGHTS
5. MECHANICAL UNITS BELOW
6. LINE OF BALCONY AT FLOOR LEVEL 4
7. BALCONY BELOW
8. ROOF ACCESS HATCH, 4'X6' MIN. (TO MEET SMMC 23.54.090.d2 SECURITY STANDARDS)
9. RESIDENTIAL ROOF TOP MECHANICAL UNITS; FINAL SIZE AND LOCATION TO BE DETERMINED
10. ELEVATOR SHAFT
11. PER SMMC 23.24.030
    A 5 KW PHOTOVOLTAIC SYSTEM REQUIRED FOR NON-RESIDENTIAL GREATER THAN 10,000 SQUARE FEET
    A 3 KW PHOTOVOLTAIC SYSTEM REQUIRED FOR MUTLI-FAMILY RESIDENTIAL 17 UNITS OR MORE
    AT 15.8% EFFICIENCY 1 SQUARE FOOT = 15 WATTS
    TOTAL 8KW/ 15 WATTS = TOTAL SQUARE FEET REQUIRED
    533.33 SQUARE FEET REQUIRED
    OPTION 1 & 2 CONSIST OF ARRAYS OF 26 PANELS @ STANDARD 77"X39"
    EACH OPTION PROVIDES 542 SQUARE FEET

ROOF PLAN GENERAL NOTES

1. ROOFING TO A MINIMUM AGED SOLAR REFLECTANCE OF 0.70 AND A MINIMUM THERMAL EMITTANCE OF 0.85

OR

2. A MINIMUM SOLAR REFLECTANCE INDEX (SRI) OF 85

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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

ROOF PLAN

A 2.31

PROJECT NO: 215513

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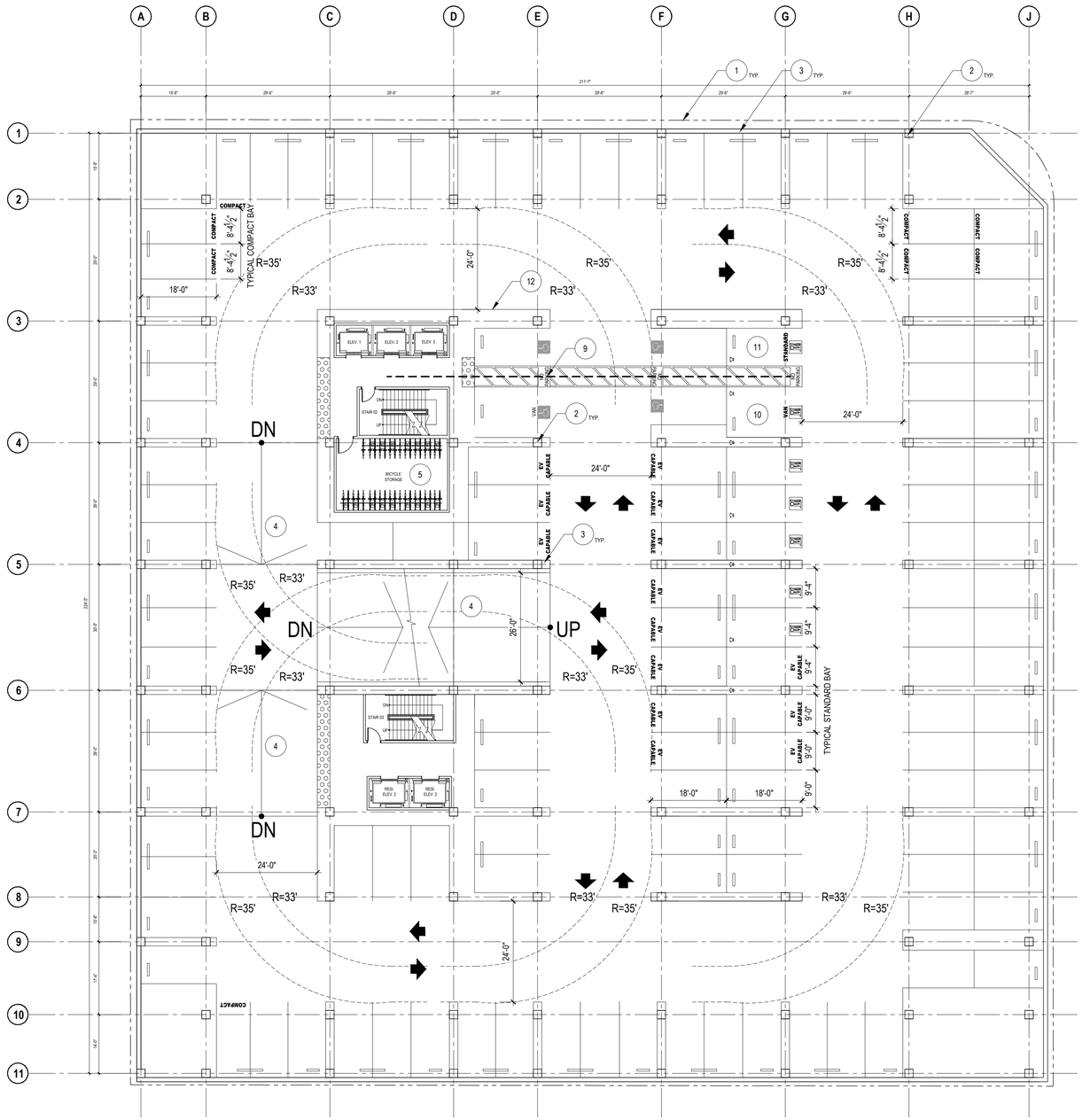

P1 LEVEL PLAN

SCALE: 1/16" = 1'-0"

0 10 20 40 60 80

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

1. PROPERTY LINE
2. CONCRETE COLUMN
3. CAST-IN-PLACE CONCRETE WALLS
4. CONCRETE RAMP
5. LONG-TERM SECURE OFFICE BICYCLE PARKING
6. MOTORIZED SLIDING ENTRY GATE TO RESIDENTIAL PARKING AREA
7. METAL FENCE
8. DASHED LINE INDICATES RAMP ABOVE
9. ACCESSIBLE PATH OF TRAVEL PER CBC 11B-402, SHOWN DASHED
10. VAN ACCESSIBLE EVCS
11. STANDARD ACCESSIBLE EVCS
12. PARKING STRIPE
13. AMBULATORY EVCS

FLOOR AREA

P1 LEVEL:	
OFFICE:	36,887 SF
RESIDENTIAL:	11,335 SF
P2 LEVEL:	
OFFICE:	38,245 SF
RESIDENTIAL:	9,977 SF
TOTAL AREA :	96,444 SF

PARKING CALCULATIONS

BELOW GRADE PARKING PROVIDED

P1 LEVEL	
OFFICE - TANDEM /TANDEM COMPACT STALLS	40 SPACES
OFFICE - STANDARD/COMPACT STALL STALLS[1]	88 SPACES
OFFICE- ADA/VAN ADA STALLS	4 SPACES
TOTAL OFFICE PROVIDED:	**132 SPACES**
P2 LEVEL	
RESIDENTIAL- STANDARD/COMPACT STALL STALLS[1]	41 SPACES
RESIDENTIAL- ADA/VAN ADA STALLS	2 SPACES
TOTAL RESIDENTIAL PROVIDED:	**43 SPACES**
OFFICE - TANDEM /TANDEM COMPACT STALLS[1]	44 SPACES
OFFICE - STANDARD/COMPACT STALL STALLS	47 SPACES
OFFICE- ADA/VAN ADA STALLS	3 SPACES
TOTAL OFFICE PROVIDED:	**94 SPACES**
TOTAL PARKING PROVIDED:	**269 SPACES**

PARKING NOTES:
1. INCLUDES REQUIRED EV AND EVSE. SEE TABLE BELOW FOR SPECIFIC EV COUNTS.

PARKING ANALYSIS TABLE

		REQUIRED	PROVIDED
COMMERCIAL USE	TOTAL NUMBER OF STALLS	263	226
	TOTAL NUMBER OF ACCESSIBLE STALLS	7	7
	TOTAL NUMBER OF VAN ACCESSIBLE STALLS	1	1
ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	43	43
	TOTAL NUMBER OF DEDICATED ACCESSIBLE STALLS	2	2
	TOTAL NUMBER OF DEDICATED VAN ACCESSIBLE STALLS	1	1

EV PARKING ANALYSIS TABLE

		REQUIRED	PROVIDED
COMMERCIAL USE	TOTAL NUMBER OF STALLS	263	226
	TOTAL NUMBER OF EV READY STALLS (EVSE)[1]	5%=13	13
	TOTAL NUMBER OF EV CAPABLE STALLS (EV)[1,2]	10%=26	26
	TOTAL NUMBER OF EV VAN ACCESSIBLE[3]	1	1
	TOTAL NUMBER OF EV STANDARD ACCESSIBLE STALLS[3]	1	1
	TOTAL NUMBER OF EV AMBULATORY STALLS[3]	1	1
ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	43	43
	TOTAL NUMBER OF EV READY STALLS (EVSE)[1]	15%=7	7
	TOTAL NUMBER OF EV VAN ACCESSIBLE STALLS[3]	1	1
	TOTAL NUMBER OF EV STANDARD ACCESSIBLE STALLS[3]	1	1

EV NOTES:
1. EV AND EVSE PER SMMC SECTION 23.70.040 FOR MULTIFAMILY AND 23.70.050 FOR COMMERCIAL.
2. PER CGBS SECTION 5.106.5.2 AND TABLE 5.106.5.2 8% LE, FE, CARPOOL/VANPOOL INCLUDED IN THE 10% DESIGNATED EV CAPABLE STALLS.
3. PER CBC TABLE 11B.228.3.2.1

REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS
(CBC TABLE 11B-208.2)

TOTAL PARKING SPACES	MINIMUM REQUIRED	COMPLIANT
201-300	7	YES

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In Association with:

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 20
SAN MATEO, CA 94401

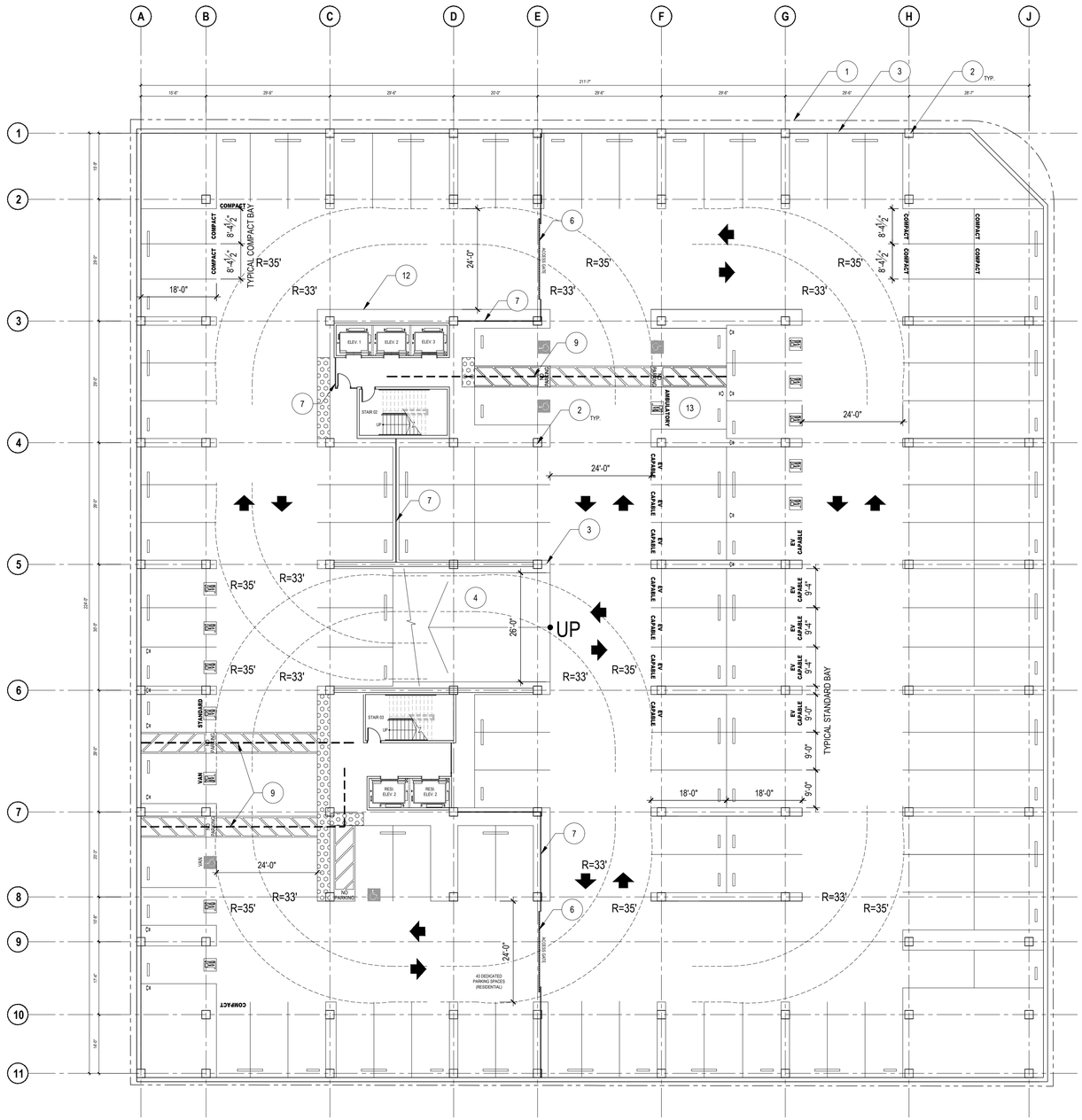
DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

P1 LEVEL PLAN

AB 2.11

PROJECT NO: 215513

P:\2021 JobsCP\215513\Revit 2021 Planning App\21-AMDG-SH-Interim Ph 5.0.rvt Aug 23, 2022, 12:08pm - rajiv



P2 LEVEL PLAN

SCALE: 1/16" = 1'-0"

0 10 20 40 60 80

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

1. PROPERTY LINE
2. CONCRETE COLUMN
3. CAST-IN-PLACE CONCRETE WALLS
4. CONCRETE RAMP
5. LONG-TERM SECURE OFFICE BICYCLE PARKING
6. MOTORIZED SLIDING ENTRY GATE TO RESIDENTIAL PARKING AREA
7. METAL FENCE
8. DASHED LINE INDICATES RAMP ABOVE
9. ACCESSIBLE PATH OF TRAVEL PER CBC 11B-402, SHOWN DASHED
10. VAN ACCESSIBLE EVCS
11. STANDARD ACCESSIBLE EVCS
12. PARKING STRIPE
13. AMBULATORY EVCS

FLOOR AREA

P1 LEVEL:	
OFFICE:	36,887 SF
RESIDENTIAL:	11,335 SF
P2 LEVEL:	
OFFICE:	38,245 SF
RESIDENTIAL:	9,977 SF
TOTAL AREA :	96,444 SF

PARKING CALCULATIONS

BELOW GRADE PARKING PROVIDED

P1 LEVEL	
OFFICE - TANDEM /TANDEM COMPACT STALLS	40 SPACES
OFFICE - STANDARD/COMPACT STALL STALLS[1]	88 SPACES
OFFICE- ADA/VAN ADA STALLS	4 SPACES
TOTAL OFFICE PROVIDED:	**132 SPACES**
P2 LEVEL	
RESIDENTIAL- STANDARD/COMPACT STALL STALLS[1]	41 SPACES
RESIDENTIAL- ADA/VAN ADA STALLS	2 SPACES
TOTAL RESIDENTIAL PROVIDED:	**43 SPACES**
OFFICE - TANDEM /TANDEM COMPACT STALLS[1]	44 SPACES
OFFICE - STANDARD/COMPACT STALL STALLS	47 SPACES
OFFICE- ADA/VAN ADA STALLS	3 SPACES
TOTAL OFFICE PROVIDED:	**94 SPACES**
TOTAL PARKING PROVIDED:	**269 SPACES**

PARKING NOTES:
1. INCLUDES REQUIRED EV AND EVSE. SEE TABLE BELOW FOR SPECIFIC EV COUNTS.

PARKING ANALYSIS TABLE

		REQUIRED	PROVIDED
COMMERCIAL USE	TOTAL NUMBER OF STALLS	263	226
	TOTAL NUMBER OF ACCESSIBLE STALLS	7	7
	TOTAL NUMBER OF VAN ACCESSIBLE STALLS	1	1
ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	43	43
	TOTAL NUMBER OF DEDICATED ACCESSIBLE STALLS	2	2
	TOTAL NUMBER OF DEDICATED VAN ACCESSIBLE STALLS	1	1

EV PARKING ANALYSIS TABLE

		REQUIRED	PROVIDED
COMMERCIAL USE	TOTAL NUMBER OF STALLS	263	226
	TOTAL NUMBER OF EV READY STALLS (EVSE)[1]	5%=13	13
	TOTAL NUMBER OF EV CAPABLE STALLS (EV)[1,2]	10%=26	26
	TOTAL NUMBER OF EV VAN ACCESSIBLE[3]	1	1
	TOTAL NUMBER OF EV STANDARD ACCESSIBLE STALLS[3]	1	1
	TOTAL NUMBER OF EV AMBULATORY STALLS[3]	1	1
ASSIGNED RESIDENTIAL USE	TOTAL NUMBER OF DEDICATED STALLS	43	43
	TOTAL NUMBER OF EV READY STALLS (EVSE)[1]	15%=7	7
	TOTAL NUMBER OF EV VAN ACCESSIBLE STALLS[3]	1	1
	TOTAL NUMBER OF EV STANDARD ACCESSIBLE STALLS[3]	1	1

EV NOTES:
1. EV AND EVSE PER SMMC SECTION 23.70.040 FOR MULTIFAMILY AND 23.70.050 FOR COMMERCIAL.
2. PER CGBS SECTION 5.106.5.2 AND TABLE 5.106.5.2 8% LE, FE, CARPOOL/VANPOOL INCLUDED IN THE 10% DESIGNATED EV CAPABLE STALLS.
3. PER CBC TABLE 11B.228.3.2.1

REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS
(CBC TABLE 11B-208.2)

TOTAL PARKING SPACES	MINIMUM REQUIRED	COMPLIANT
201-300	7	YES

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DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

P2 LEVEL PLAN

AB 2.12

PROJECT NO: 215513

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EAST 4TH AVENUE - NORTH ELEVATION 1

SCALE: 3/32" = 1'-0"

0 10 20 40 60 80

S. DELAWARE STREET - EAST ELEVATION 2

SCALE: 3/32" = 1'-0"

0 10 20 40 60 80

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

1. EXISTING PROPERTY LINE
2. 1" INSULATED GLAZING SYSTEM WITH DARK BLUE TINT GLASS IN DARK BRONZE ALUMINUM FRAMES WITH VERTICAL AND HORIZONTAL EXPRESSED MULLIONS
3. 1" INSULATED GLAZING SYSTEM WITH LIGHT BLUE TINT GLASS IN DARK BRONZE ALUMINUM FRAMES WITH VERTICAL AND HORIZONTAL EXPRESSED MULLIONS
4. ALUMINUM/GLASS EXTERIOR STORE FRONT SYSTEM. FRAME COLOR TO BE DARK BRONZE
5. EXTRUDED ALUMINUM CANOPY SYSTEM
6. PRE-CAST CROWN MOLDING
7. PAINTED STUCCO FINISH AND EXTERIOR SHEATHING OVER METAL STUD FRAME
8. WALL MOUNT LIGHT FIXTURE
9. ALUMINUM FASCIA AND SIDING TRIM. COLOR TO BE DARK BRONZE
10. CORBEL AND BRACKETS. COLOR TO BE DARK BRONZE
11. PAINTED STEEL RAILING. COLOR TO BE DARK BRONZE
12. PRE-CAST WALL CAP
13. EXTERIOR ALUMINUM / GLASS ENTRY/EXIT STOREFRONT DOOR.
14. ROOFING
15. ALUMINUM / FRAMED FIXED GLASS WINDOW IN DARK BRONZE ALUMINUM FRAMES
16. EXPRESSED MULLION IN DARK BRONZE
17. ALUMINUM / FRAMED SLIDING GLASS DOOR IN DARK BRONZE ALUMINUM FRAMES
18. SOLID STEEL DOORS
19. ENTRY TO BELOW GRADE PARKING STRUCTURE/GARAGE
20. BUILDING SIGNAGE

MATERIAL PALETTE

* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

G1 EXTERIOR GLAZING*
TYPE: 1" INSULATED
COLOR: DARK BLUE TINT

G2 EXTERIOR GLAZING*
TYPE: 1" INSULATED
COLOR: LIGHT BLUE TINT

M1 EXTRUDED ALUMINUM CANOPY SYSTEM
MANUFACTURER: ARCHITECTURAL CANOPIES
SERIES: EXTRUDECK CANTILEVER WITH SINGLE BEAD FASCIA
FINISH: DARK ANODIZED BRONZE

M2 EXTRUDED ALUMINUM CANOPY SYSTEM
MANUFACTURER: ARCHITECTURAL CANOPIES
SERIES: EXTRUDECK WITH SINGLE BEAD FASCIA AND HANGER RODS
FINISH: DARK ANODIZED BRONZE

L1 SURFACE MOUNT LIGHT FIXTURE
MANUFACTURER: DELTA LIGHTING OR APPROVED EQUAL
SERIES: TOPIX L X
FINISH: GRAY BROWN

P1 EXTERIOR PAINT
MANUFACTURER: SHERWIN-WILLIAMS
COLOR: SW6152 SUPERIOR BRONZE

P2 EXTERIOR PAINT
MANUFACTURER: SHERWIN-WILLIAMS
COLOR: SW6150 UNIVERSAL KAHKI

P3 EXTERIOR PAINT
MANUFACTURER: SHERWIN-WILLIAMS
COLOR: SW6149 RELAXED KAHKI

P4 EXTERIOR PAINT
MANUFACTURER: SHERWIN-WILLIAMS
COLOR: SW6148 WOOL SKEIN

P5 EXTERIOR PAINT
MANUFACTURER: SHERWIN-WILLIAMS
COLOR: SW7001 MARSHMALLOW

T1 ROOF TILE
MANUFACTURER:
COLOR:

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In Association with:

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BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

EXTERIOR ELEVATIONS

A 3.01

PROJECT NO: 215513

P:\2021 Jobs\215513\Docs\ 2021 Planning App\2ND APP\ARCH 2nd Pre-App Submittal\215513 A3.01 Elevations.dwg - Aug 19, 2022 - 4:39pm - rajh

EAST 5TH AVENUE - SOUTH ELEVATION 3

SCALE: 3/32" = 1'-0"

0 10 20 40 60 80

S. CLAREMONT STREET - WEST ELEVATION 4

SCALE: 3/32" = 1'-0"

0 10 20 40 60 80

KEYNOTES

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SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

EXTERIOR ELEVATIONS

A 3.02

PROJECT NO: 215513

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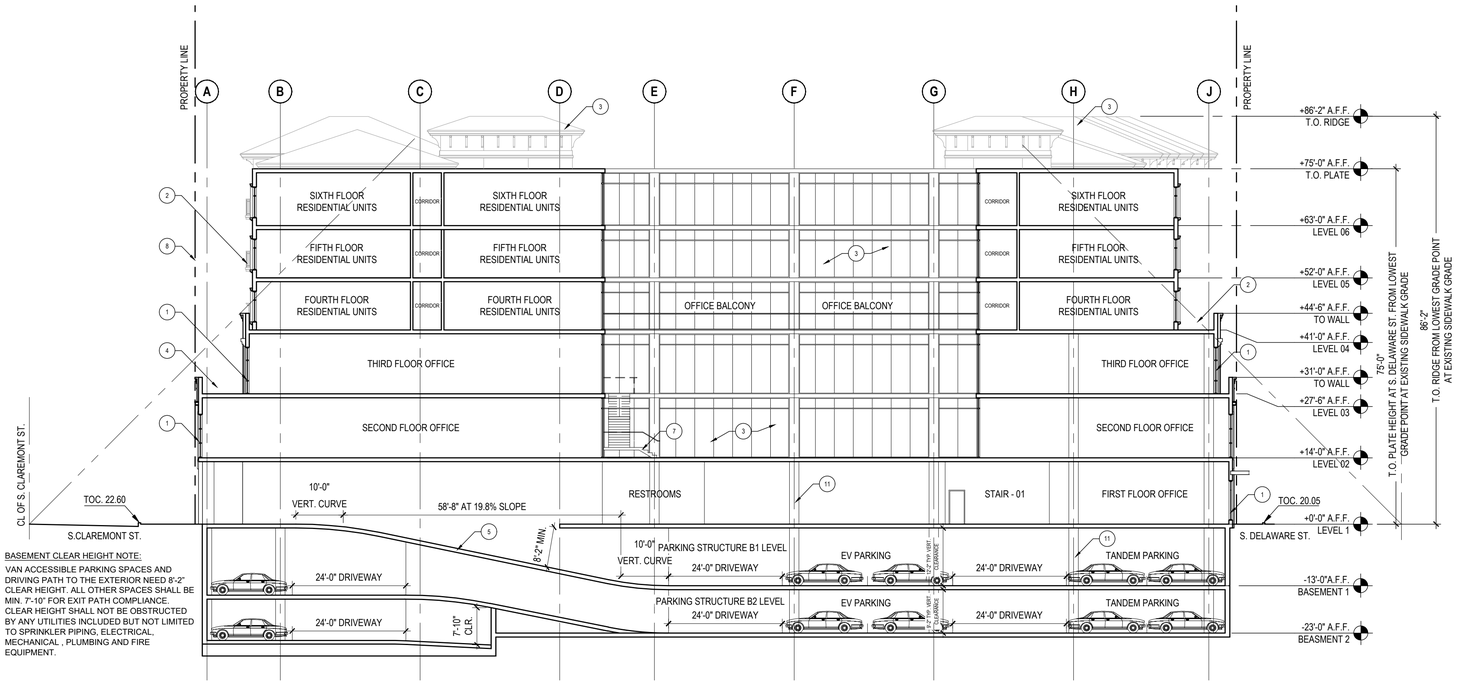


BASEMENT CLEAR HEIGHT NOTE:

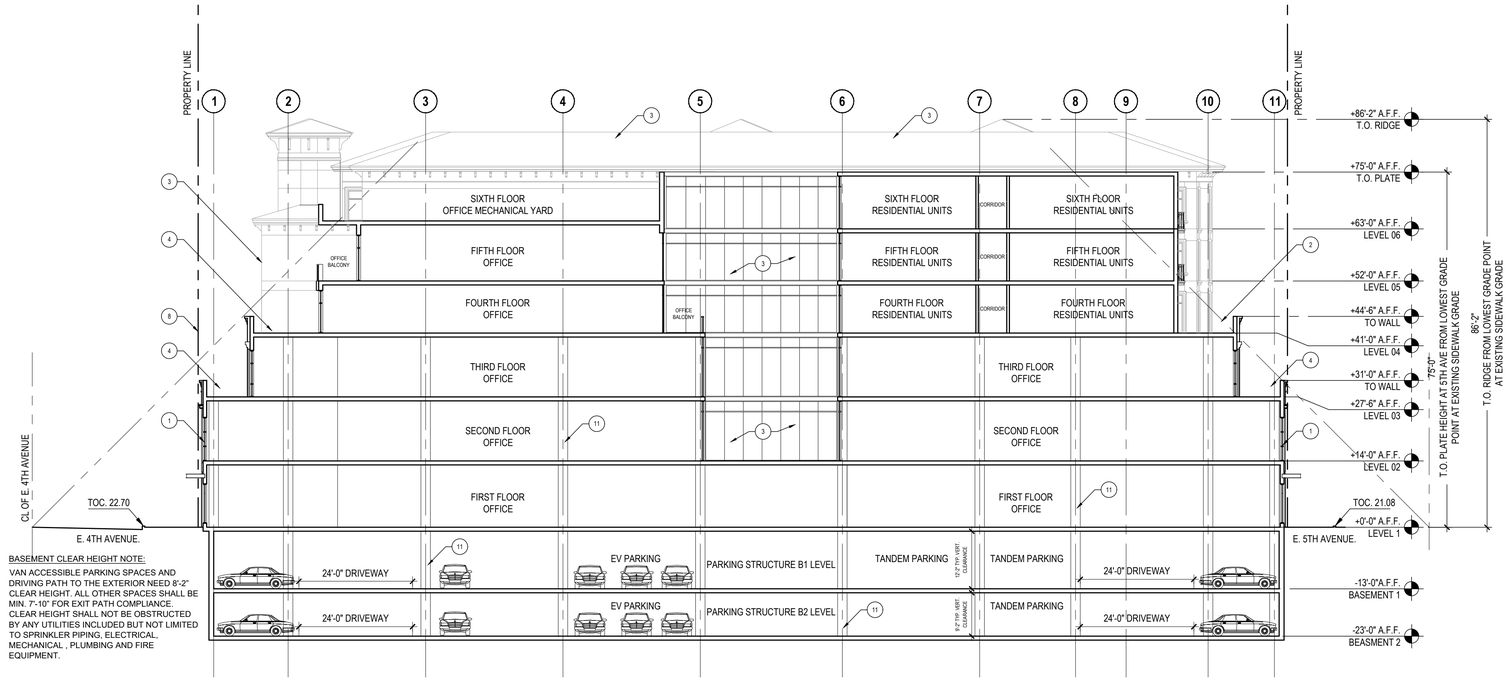
VAN ACCESSIBLE PARKING SPACES AND DRIVING PATH TO THE EXTERIOR NEED 8'-2" CLEAR HEIGHT. ALL OTHER SPACES SHALL BE MIN. 7'-10" FOR EXIT PATH COMPLIANCE. CLEAR HEIGHT SHALL NOT BE OBSTRUCTED BY ANY UTILITIES INCLUDED BUT NOT LIMITED TO SPRINKLER PIPING, ELECTRICAL, MECHANICAL , PLUMBING AND FIRE EQUIPMENT.

SECTION - 1

SCALE: 1/16" = 1'-0"

1

0 10 20 40 60 80



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SECTION - 2

SCALE: 1/16" = 1'-0"

2

0 10 20 40 60 80

KEYNOTES

1. EXTERIOR GLAZING SYSTEM
2. RESIDENTIAL BALCONY
3. BUILDING BEYOND
4. OFFICE BALCONY
5. RAMP TO BELOW GRADE PARKING; FROM B1 TO B2 LEVEL PROFILE SECTION PER CITY STANDARD DRAWING 3-1-170.
6. TEMPERED GLAZING GUARDRAIL
7. ATRIUM OPEN STAIR
8. EXISTING PROPERTY LINE
9. REQUIRED STREET WALL SETBACK PER SMMC 27.42.010 SHOWN DASHED; "ALLOWABLE INTRUSIONS ABOVE THE STREET WALL ARE LIMITED TO MINOR ARCHITECTURAL DETAILING NOT EXCEEDING FOUR (4) FEET IN HEIGHT AND PARAPETS INCLUDING RAILINGS AND ARBORS AND LANDSCAPED PLANTING AREAS"
10. CENTERLINE OF PUBLIC RIGHT OF WAY
11. STRUCTURAL COLUMN

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BLOCK 20
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DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

BUILDING SECTIONS

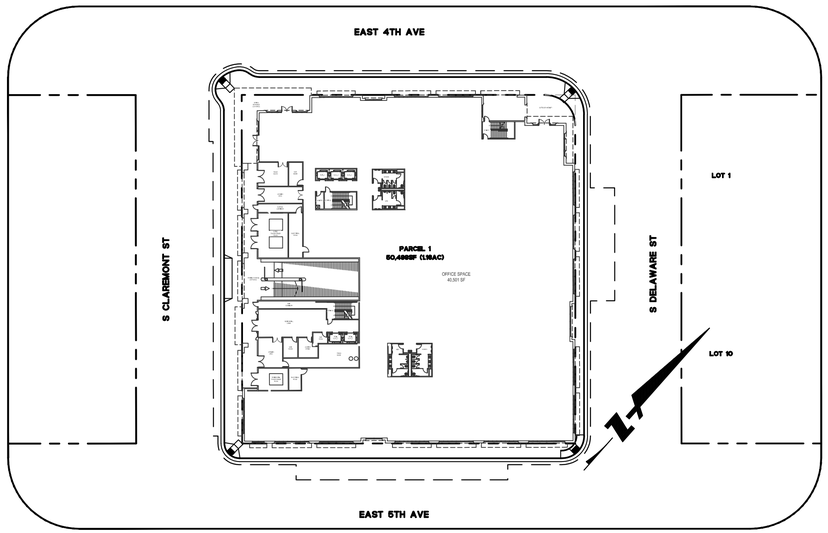
A 4.01

PROJECT NO: 215513

P:\2021 Jobs\2161.51\Revit 2021\Planning App\2021-AR003-3rdPlanSet-P215513.ARC.they - Aug 23, 2022, 8:37am - rajiv

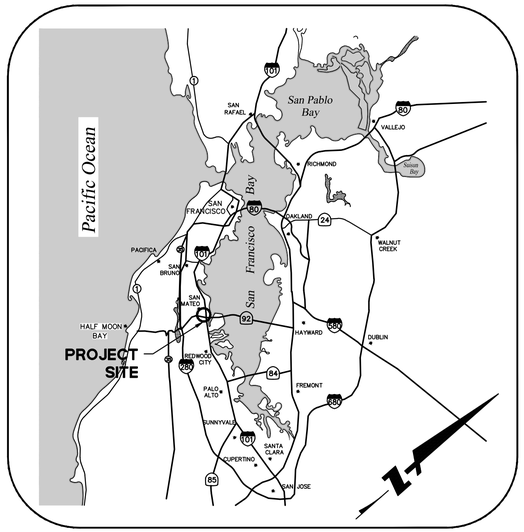
BLOCK 20
PLANNING SUBMITTAL

CITY OF SAN MATEO, SAN MATEO COUNTY, CALIFORNIA



SITE PLAN

SCALE: 1"=50'



LOCATION MAP

NTS

SHEET INDEX

SHEET NUMBER	SHEET TITLE
C1.01	TITLE SHEET
C1.02	NOTES, LEGEND & ABBREVIATIONS
C2.01	EXISTING CONDITIONS
C2.02	PRELIMINARY PARCEL MAP
C3.01	PRELIMINARY HORIZONTAL CONTROL PLAN
C4.01	PRELIMINARY GRADING PLAN
C5.01	PRELIMINARY UTILITY PLAN
C6.01	PRELIMINARY SWCP
C6.02	STORMWATER CONTROL NOTES
C7.01	CONSTRUCTION BMPS

BASIS OF BEARINGS

THE MONUMENTED CENTERLINE OF SOUTH DELAWARE STREET BETWEEN 3RD AVENUE AND 5TH AVENUE AS SHOWN ON PARCEL MAP NO. 324 FILED IN BOOK 64 OF MAPS, PAGE 52 SHOWN AS S 41°28'00".

PROJECT SUMMARY

APPLICANT	MICHAEL FIELD WINDY HILL PROPERTY VENTURES 530 EMERSON STREET, SUITE 150 PALO ALTO, CA 94301 650.847.1266
ARCHITECT	EVAN SOCKALOSKY ARCHITECTURAL TECHNOLOGIES 1731 TECHNOLOGY DRIVE, SUITE 750 SAN JOSE, CA 95110 408.496.0676
LANDSCAPE ARCHITECT	MATT HAWKS KLA INCORPORATED 151 S NORLIN STREET SONORA, CA 95370 209.532.2856
CIVIL ENGINEER	ALYSSA JACOBSON, PE BKF ENGINEERS 150 CALIFORNIA STREET, SUITE 600 SAN FRANCISCO, CA 94111 415.930.7900
OWNER	WINDY HILL PROPERTY VENTURES 530 EMERSON STREET, SUITE 150 PALO ALTO, CA 94301
TOTAL AREA	50,499 SF (1.16 AC)
EXISTING ZONING	CBD/S–CENTRAL BUSINESS SUPPORT
EXISTING LAND USE	DOWNTOWN RETAIL CORE SUPPORT
PROPOSED LAND USE	DOWNTOWN RETAIL CORE SUPPORT THE PROPOSED PROJECT CONSISTS OF A 6 STORY MIXED–USE BUILDING CONSISTING OF 237,083 SF.
UTILITIES	
WATER SUPPLY:	CALIFORNIA WATER SERVICE
FIRE PROTECTION:	SAN MATEO CONSOLIDATED FIRE
SEWAGE DISPOSAL:	CITY OF SAN MATEO
STORM DRAIN:	CITY OF SAN MATEO
GAS & ELECTRIC:	PACIFIC GAS & ELECTRIC
TELEPHONE:	COMCAST
CABLE TELEVISION:	COMCAST

APPROVALS

ENGINEER'S STATEMENT

THIS VESTING TENTATIVE MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

08/22/2022

ALYSSA JACOBSON, P.E. — DATE
PROJECT MANAGER
BKF ENGINEERS

08/22/2022

MICHAEL O'CONNELL, P.E. — DATE
ASSOCIATE
BKF ENGINEERS

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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

TITLE SHEET

C1.01

PROJECT NO: 215513

K:\2021\215513_BKF_E_ARC_San_Mateo\PDFs\Submittals\SUBCAL\01 TITLE SHEET.dwg Aug 19, 2022, 1:47pm jake

GENERAL NOTES

1. BOUNDARY: BOUNDARY INFORMATION IS BASED ON A ALTA/NSPS LAND TITLE SURVEY PREPARED BY BKF DATED 05/27/2022.

2. SOURCE OF TOPOGRAPHY: EXISTING TOPOGRAPHY SHOWN IS BASED ON A ALTA/NSPS LAND TITLE SURVEY PREPARED BY BKF ENGINEERS DATED 05/27/2022.

3. GRADING: SITE GRADES AND BUILDING/GARAGE FINISHED FLOOR ELEVATIONS ARE SUBJECT TO FINAL ENGINEERING DESIGN AND GEOTECHNICAL ENGINEER'S REVIEW AND APPROVAL.

4. UTILITIES: UTILITY SIZING, LOCATIONS, AND GRADES ARE SUBJECT TO FINAL ENGINEERING DESIGN, GEOTECHNICAL ENGINEER AND RESPECTIVE UTILITY AGENCY REVIEW AND APPROVAL.

   A. EXISTING UTILITIES SHOWN ARE FROM FIELD OBSERVATIONS AND RECORD DRAWINGS AND ARE NOT MEANT TO BE A FULL CATALOG OF ACTUAL CONDITIONS.

   B. EXISTING ON-SITE UTILITIES SHOWN ARE TO BE REMOVED UNLESS OTHERWISE NOTED ON PLANS.

   C. THE WATER DISTRIBUTION WILL BE DESIGNED AND CONSTRUCTED PER CALIFORNIA WATER SERVICE STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.

   D. THE SANITARY SEWER SYSTEM WILL BE DESIGNED AND CONSTRUCTED PER CITY OF SAN MATEO STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.

   E. THE STORM DRAIN SYSTEM WILL BE DESIGNED AND CONSTRUCTED PER CITY OF SAN MATEO STANDARD SPECIFICATIONS AND DETAILS, WHERE APPLICABLE.

8. FEMA DESIGNED FLOOD ZONE: FLOOD ZONE 'X'; OTHER AREAS TO BE DETERMINED TO BE OUTSIDE THE 0.2% CHANCE ANNUAL FLOOD PER FLOOD INSURANCE RATE MAP NUMBER 06081C0154G DATED 04/05/2019.

9. LANDSCAPE PLAN: LANDSCAPE PLAN BY KLA INCORPORATED SHALL BE APPROVED AS PART OF FINAL IMPROVEMENT PLANS FOR THE PROJECT.

FIRE DEPARTMENT NOTES

1. A SEPARATE APPLICATION AND PERMIT ARE REQUIRED FOR THE INSTALLATION OF ANY UNDERGROUND FIRE SERVICE LINES. APPLICATION SHALL BE MADE BY A REGISTERED ENGINEER OR BY EITHER A GENERAL ENGINEERING CONTRACTOR OR A LICENSED FIRE SPRINKLER CONTRACTOR, WHO WILL BE PERFORMING THE WORK.

2. IN ACCORDANCE WITH THE MUNICIPAL/ REGEIONAL STORM WATER PERMIT, NO FIRE SPRINKLER SYSTEM DRAIN SHALL DISCHARGE INTO ANY STORM DRAIN SYSTEM. THE SYSTEM SHALL DISCHARGE TO EITHER A LANDSCAPE AREA LARGE ENOUGH TO CONTAIN THE OUTFLOW, OR TO THE SANITARY SEWER BY MEANS OF AN INDIRECT CONNECTION. INDICATE THE LOCATION OF THE FIRE SPRINKLER SYSTEM DRAIN ON PLANS SUBMITTED FOR A BUILDING PERMIT.

UNDERGROUND STORAGE TANKS

1. PRIOR TO BUILDING PERMIT ISSUANCE, THE PROJECT MUST BE SUBMITTED TO THE SAN MATEO COUNTY HEALTH DEPARTMENT FOR REVIEW OF THE PROPOSED REMOVAL OF THE EXISTING UNDERGROUND STORAGE TANK ("UST") AND ASSOCIATED PIPING ON SITE.

LEGEND

	PROPOSED	EXISTING
SITE BOUNDARY		
COUNTY BOUNDARY		
LOT LINE		
CONTOUR LINE	100	100
FENCE		
STORM DRAIN		
SANITARY SEWER		SS
WATER MAIN	W	W
FIRE WATER MAIN	FW	
GAS LINE	GAS	GAS
JOINT TRENCH	E	E
SANITARY SEWER CLEAN OUT	CO	
SANITARY SEWER MANHOLE		S
STORM DRAIN CURB INLET		
STORM DRAIN MANHOLE		
STORMFILTER		
DETECTOR CHECK & METER		
COMPOUND METER		
FIRE DEPARTMENT CONNECTION		
FIRE HYDRANT		
WATER VALVE		
MONUMENT		
TRANSFORMER		
BIKE RACK		
STREET LIGHT		
INLET PROTECTION		
POLE LIGHT		
STORM DRAIN CLEAN OUT		
STORM DRAIN AREA DRAIN		
STORM DRAIN CATCH BASIN		
OVERHEAD WIRES	OH	
STREET SIGN		
SPOT ELEVATION	TC 8.70	TC 8.70
FRESH AIR INLET		
WATER METER		WM
BACK FLOW PREVENTER		
AUXILIARY WATER SUPPLY SYSTEM	AWSS	
JOINT POLE		
TREE		

ABBREVIATIONS

Δ	DELTA
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
ACP	ASBESTOS CEMENT PIPE
AD	AREA DRAIN
ADJ	ADJACENT
APP	APPENDIX
APN	ACCESS POINT NAME
AWSS	AUXILIARY WATER SUPPLY SYSTEM
B/W, BW	BACK OF WALK
BC	BEGINNING OF CURVE
BCR	BEGINNING CURB RETURN
BFP	BACKFLOW PREVENTER
BLD, BLDG	BUILDING
BTM	BOTTOM
BRC	BOTTOM OF RETAINING CURB
BVCE	BEGIN VERTICAL CURVE ELEVATION
BVCS	BEGIN VERTICAL CURVE STATION
BSW	BACK OF SIDEWALK
C&G	CURB AND GUTTER
CB	CATCH BASIN
CCP	CONCRETE CYLINDER PIPE
CL, ℄	CENTER LINE
CLR	CLEARANCE
CO	CLEANOUT
COMM	TELECOM
CONC	CONCRETE
COR	CORNER
CS	COMBINED SEWER
CSMH	COMBINED SEWER MANHOLE
CATV, CTV	CABLE TELEVISION
DSDA	DOUBLE CHECK DETECTOR ASSEMBLY
DI	DROP INLET
DIA	DIAMETER
DMA	DRAINAGE MANAGEMENT AREA
DOC, DU	DOCUMENT
DW	DOMESTIC WATER
DWG	DRAWING
DWY	DRIVEWAY
E	EAST
E, ELEC	ELECTRIC
EASE, ESMT	EASEMENT
EB	ELECTRIC BOX
EC	END OF CURVE
ECC	EXTRUDED CONCRETE CURB
ECR	END CURB RETURN
EG	EXISTING GROUND
EL, ELEV	ELEVATION
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
EVCE	END VERTICAL CURVE ELEVATION
EVCS	END VERTICAL CURVE STATION
EX, EXIST	EXISTING
FC	FACE OF CURB
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOWLINE
FNC	FENCE
FO	FIBER OPTIC CABLE
FS	FIRE SERVICE
FT	FEET
FW	FIRE WATER
G	GAS
GB	GRADE BREAK
GM	GAS METER
GND	GROUND
GPM	GALLONS PER MINUET
GR	GRATE, GRATE ELEVATION
GV	GATE VALVE
HASP	HEALTH & SAFETY PLAN
HCAP	HANDICAPPED
HC, HCR	HANDICAP RAMP
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT
H, HORZ	HORIZONTAL
ID	INNER DIAMETER
INV	INV
IRR	IRRIGATION
JP	JOINT POLE
JT	JOINT TRENCH
L	LENGTH
L/C, LS	LANDSCAPE
LF	LINEAR FEET
LG	LIP OF GUTTER
LID	LOW IMPACT DEVELOPMENT
LOW	LIMIT OF WORK
LT	LIGHT
LSCP	LANDSCAPE
LT	LIGHT
MAX	MAXIMUM
MB	MAIL BOX
MIN	MINIMUM
MH	MANHOLE
MPWD	MID-PENINSULA WATER DISTRICT
N	NORTH
NTS	NOT TO SCALE
NO.	NUMBER
OC	OFF CENTER
OD	OUTSIDE DIAMETER
OH	OVERHEAD
OR, O.R.	OFFICIAL RECORD
PCC	PORTLAND CEMENT CONCRETE
PDL	PEDESTAL
PRC	POINT OF REVERSE CURVATURE
PCL	PARCEL
PERF	PERFORATED
PG&E	PACIFIC GAS & ELECTRIC
PKG	PARKING
PL	PROPERTY LINE
PM	PARKING METER
POC	POINT OF CONNECTION
PR	PROPOSED
PRC	POINT OF COMPOUND CURVE
PUE	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE
PVI	POINT OF VERTICAL INFLECTION
R	RADIUS, RIGHT OF ALIGNMENT LINE
RCP	REINFORCED CONCRETE PIPE
RIM	RIM ELEVATION
RC	RELATIVE COMPACTION
RFL	ROOF LEADER
RW,ROW	RIGHT OF WAY
RWC	REDWOOD CITY
S	SLOPE, SOUTH
SAN.	SANITARY
SD	STORM DRAIN
SDCB	STORM DRAIN CATCH BASIN
SF	SQUIARE FEET
SFDPW	SF DEPARTMENT OF PUBLIC WORKS
SFPUC	SF PUBLIC UTILITIES COMMISSION
S.E.P.	SEE ELECTRICAL PLANS
S/W	SIDEWALK
S.A.D.	SEE ARCHITECTURAL DRAWINGS
SD	STORM DRAIN
SDAD	STORM DRAIN AREA DRAIN
SDCO	STORM DRAIN CLEANOUT
SDDI	STORM DRAIN DROP INLET
SDMH	STORM DRAIN MANHOLE
S.F.P.P.	SEE FIRE PROTECTION PLAN
SMGP	SOIL & GROUNDWATER MONITORING PLAN
S.J.T.P.	SEE JOINT TRENCH PLANS
SL	STREET LIGHT
SLB	STREET LIGHT BOX
S.L.P.	SEE LANDSCAPE PLANS
S.P.P.	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
ST	STREET
STA	STATION
STD	STANDARD
T&G	TONGUE AND GROVE
T, TEL, TELE	TELEPHONE
TBD	TO BE DETERMINED
TC	TOP OF CURB
TP	TOP OF PAVEMENT
TRANS	TRANSFORMER
TRC	TOP OF RETAINING CURB
TSB	TRAFFIC SIGNAL BOX
TTC	THEORETICAL TOP OF CURB
TWELL	TREE WELL
TYP	TYPICAL
VC	VERTICAL CURVE
V, VERT	VERTICAL
VG	VALLEY GUTTER
UB	UTILITY BOX
U.C.D.	UNDERGROUND COMMERCIAL DISTRIBUTION
USA	UNDERGROUND SERVICE ALERT
W	WATER, WEST
WM	WATER METER
WV	WATER VALVE
W/	WITH

SYMBOL LEGEND

SYMBOL	DESCRIPTION
A / C1.01	DETAIL SECTION A ON SHEET C1.01
A / C1.01	DETAIL A ON SHEET C1.01

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PLANNING APPLICATION FOR:

WINDY HILL PROPERTY VENTURES

BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

NOTES LEGEND AND ABBREVIATIONS

C1.02

PROJECT NO: 215513

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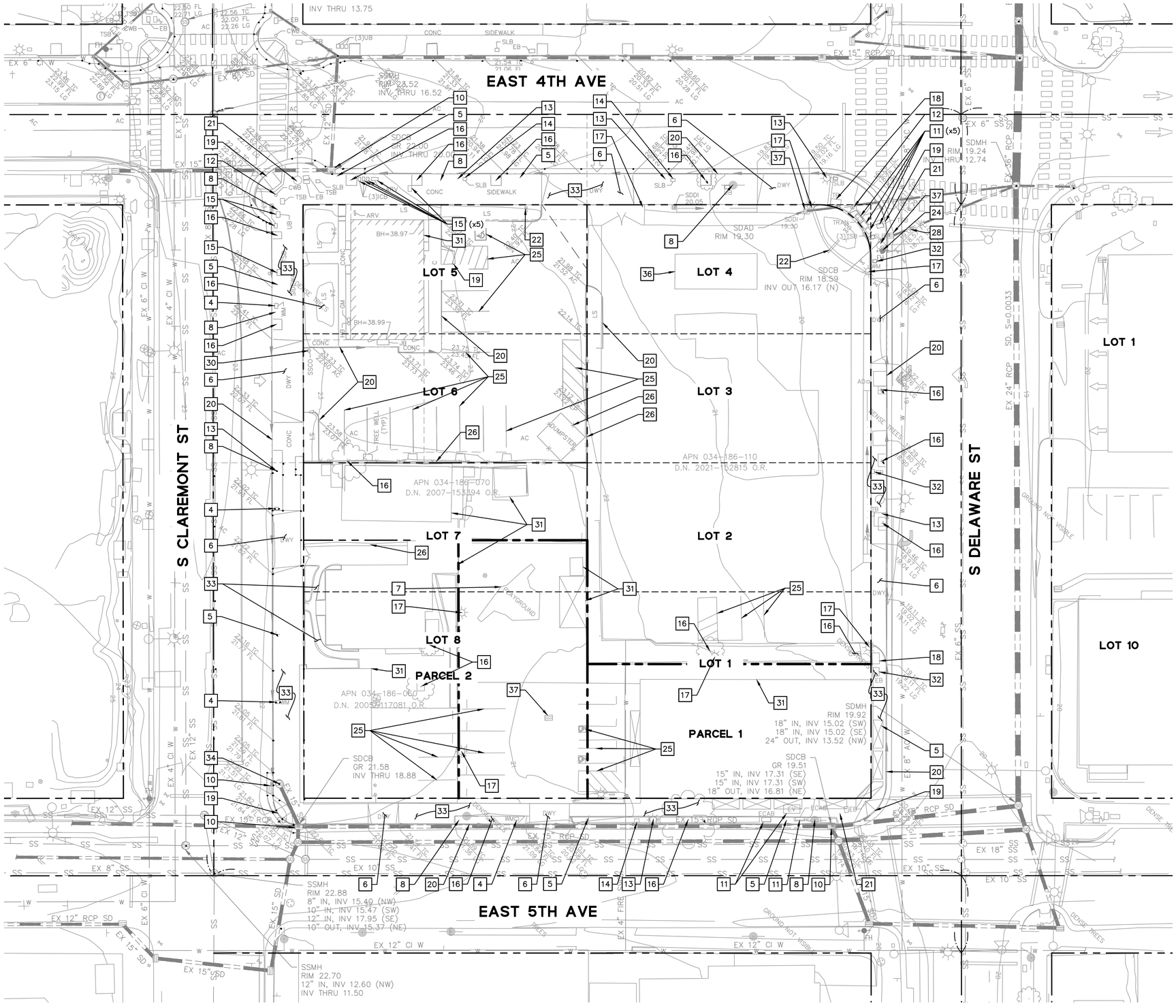

DEMOLITION KEY NOTES

1. TRASH CAN, TO BE REMOVED
2. MAILBOX, TO BE REMOVED
3. PARKING METER, TO BE RELOCATED PER THE CONSTRUCTION DOCUMENTS
4. WATER METER, TO BE REMOVED
5. STREET SIGN, TO BE RELOCATED PER CONSTRUCTION DOCUMENTS
6. DRIVEWAY, TO BE REMOVED
7. PLAYGROUND EQUIPMENT, TO BE REMOVED
8. JOINT POLE, TO BE REMOVED, S.J.T.P. FOR DISPOSITION
9. SANITARY SEWER CLEAN OUT, TO BE REMOVED
10. STORM DRAIN CATCH BASIN, TO BE REMOVED AND REPLACED
11. ELECTRICAL BOX, TO REMAIN IN PLACE, ADJUST TO FG
12. PEDESTRIAN BUTTON, TO REMAIN IN PLACE, ADJUST TO FG
13. STREET LIGHT, TO BE RELOCATED, S.J.T.P.
14. STREET LIGHT BOX, TO BE RELOCATED, S.J.T.P.
15. UTILITY BOX, TO REMAIN, ADJUST TO FG
16. TREE, TO BE REMOVED
17. STREET LIGHT, TO BE REMOVED
18. TELECOM BOX, TO REMAIN, ADJUST TO FG
19. CURB RAMP, TO BE REMOVED AND REPLACED
20. CURB AND GUTTER, TO BE REMOVED AND REPLACED
21. TRAFFIC SIGNAL AND BOX, TO REMAIN IN PLACE, ADJUST TO FG
22. BUSINESS SIGN, TO BE REMOVED
23. ELECTRICAL SIGN, TO BE REMOVED
24. FIRE HYDRANT, TO REMAIN
25. PARKING STRIPING, TO BE REMOVED
26. FENCE, TO BE REMOVED
27. BIKE RACK, TO BE REMOVED
28. STORM DRAIN LATERAL, TO BE CUT AND CAPPED, AND ABANDONED IN PLACE
29. WATER LATERAL, TO BE CUT AND CAPPED AT THE MAIN, AND ABANDONED IN PLACE
30. SANITARY LATERAL, TO BE CUT AND CAPPED AT THE MAIN, AND ABANDONED IN PLACE
31. BUILDING, TO BE REMOVED
32. UTILITY BOX, TO BE REMOVED
33. SIDEWALK, TO BE REMOVED TYP
34. MANHOLE, TO REMAIN
35. WATER VALVE, TO REMAIN
36. GAS STATION OVERHANG, TO BE REMOVED
37. STORM DRAIN CATCH BASIN, TO BE REMOVED

DEMOLITION NOTES

1. ALL EXISTING EASEMENTS WITHIN THE PROJECT PROPERTY TO BE QUIT-CLAIMED.

GRAPHIC SCALE
20 0 20 40

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PLANNING APPLICATION FOR:
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BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

EXISTING CONDITIONS

C2.01

PROJECT NO: 215513

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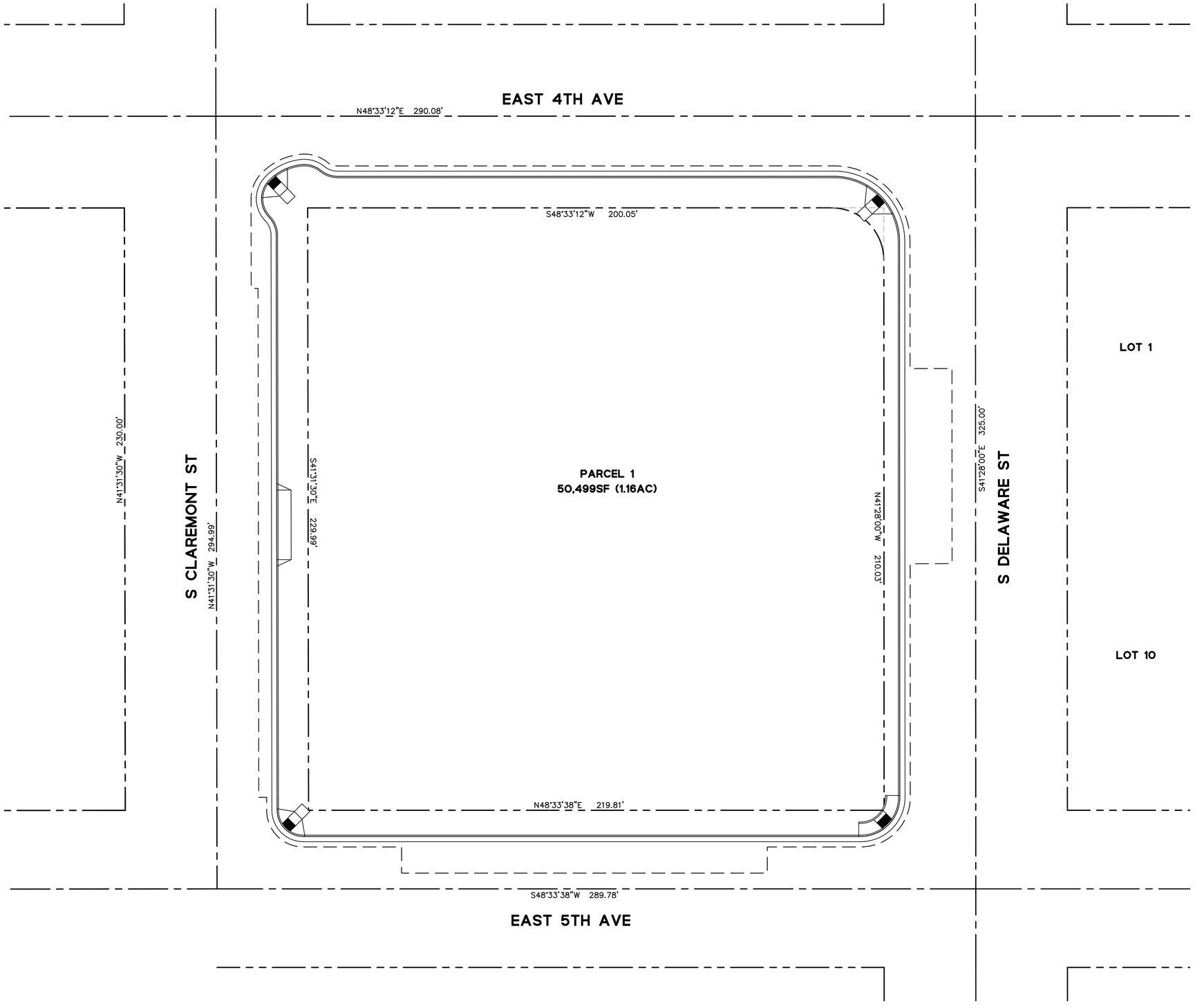

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SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

PRELIMINARY PARCEL MAP

C2.02

PROJECT NO: 215513

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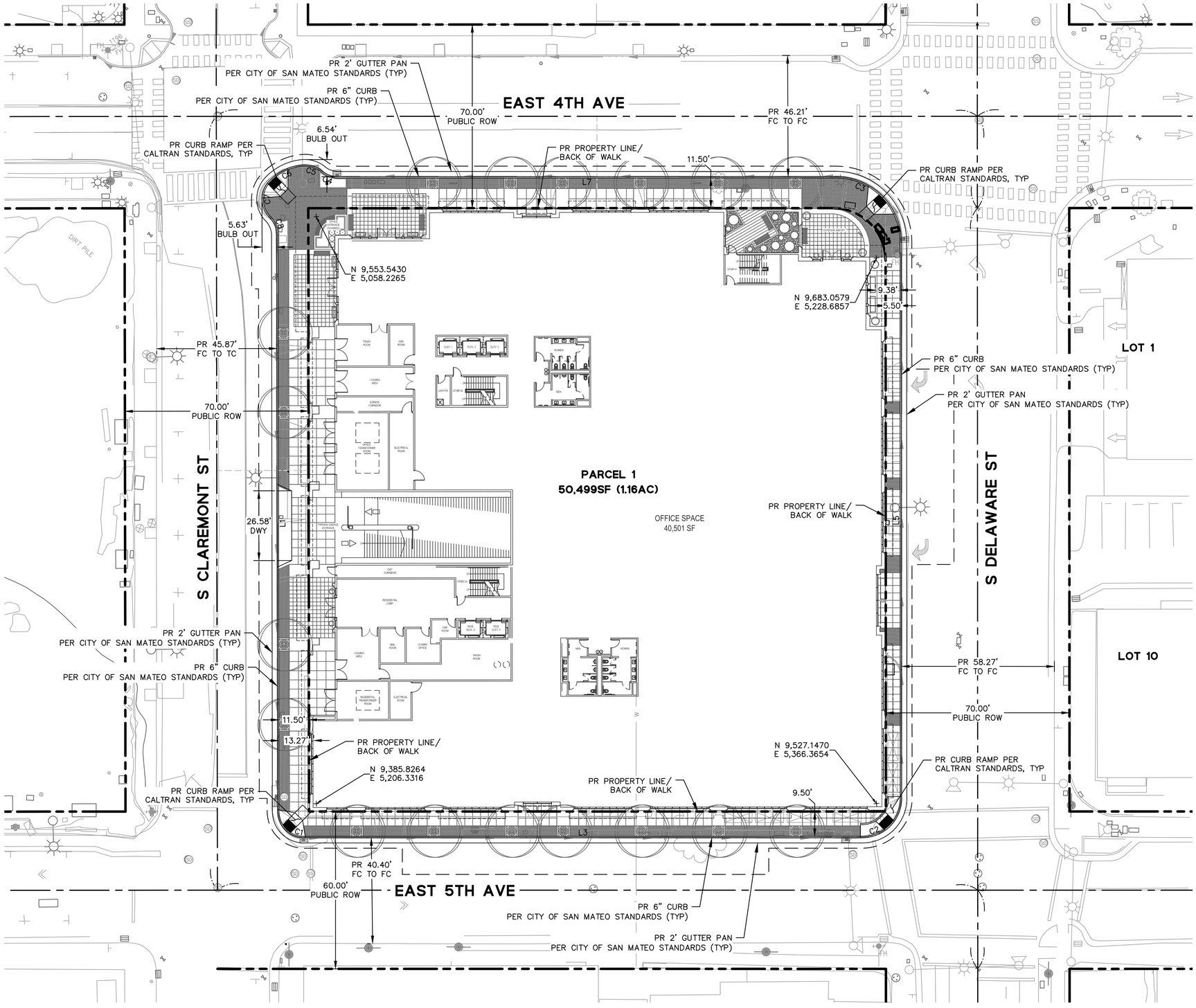

LINE TABLE		
LINE NO.	LENGTH	DIRECTION
L1	219.56	S41°31'30"E
L3	212.81	N48°33'38"E
L5	212.02	N41°28'00"W
L7	189.62	S48°33'12"W

CURVE TABLE			
CURVE NO.	LENGTH	RADIUS	DELTA
C1	15.69	10.00	089°54'52"
C2	23.57	15.00	090°01'38"
C3	39.26	25.00	089°58'48"
C4	6.87	10.00	039°20'49"
C5	7.76	10.00	044°26'44"
C6	14.47	20.00	041°27'05"
C7	15.28	10.00	087°31'49"
C8	7.68	10.00	044°00'07"

GRAPHIC SCALE
20 0 20 40

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PRELIMINARY
HORIZONTAL
CONTROL PLAN

C3.01

PROJECT NO: 215513

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EAST 4TH AVE

S CLAREMONT ST

S DELAWARE ST

EAST 5TH AVE

PARCEL 1
50,499SF (1.16AC)

OFFICE SPACE
40,501 SF

LOT 1

LOT 10

GRAPHIC SCALE
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PRELIMINARY GRADING PLAN

C4.01

PROJECT NO: 215513

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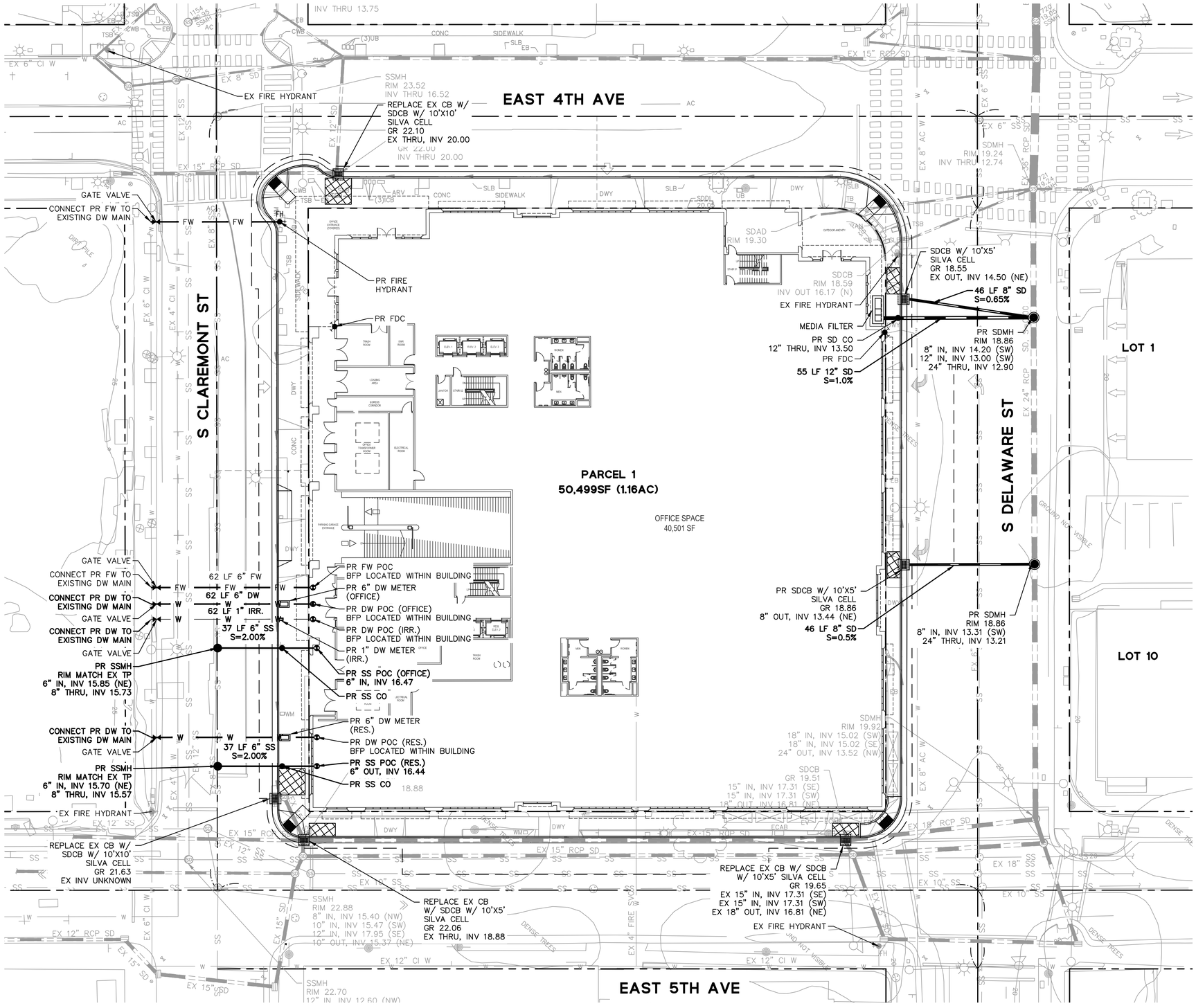

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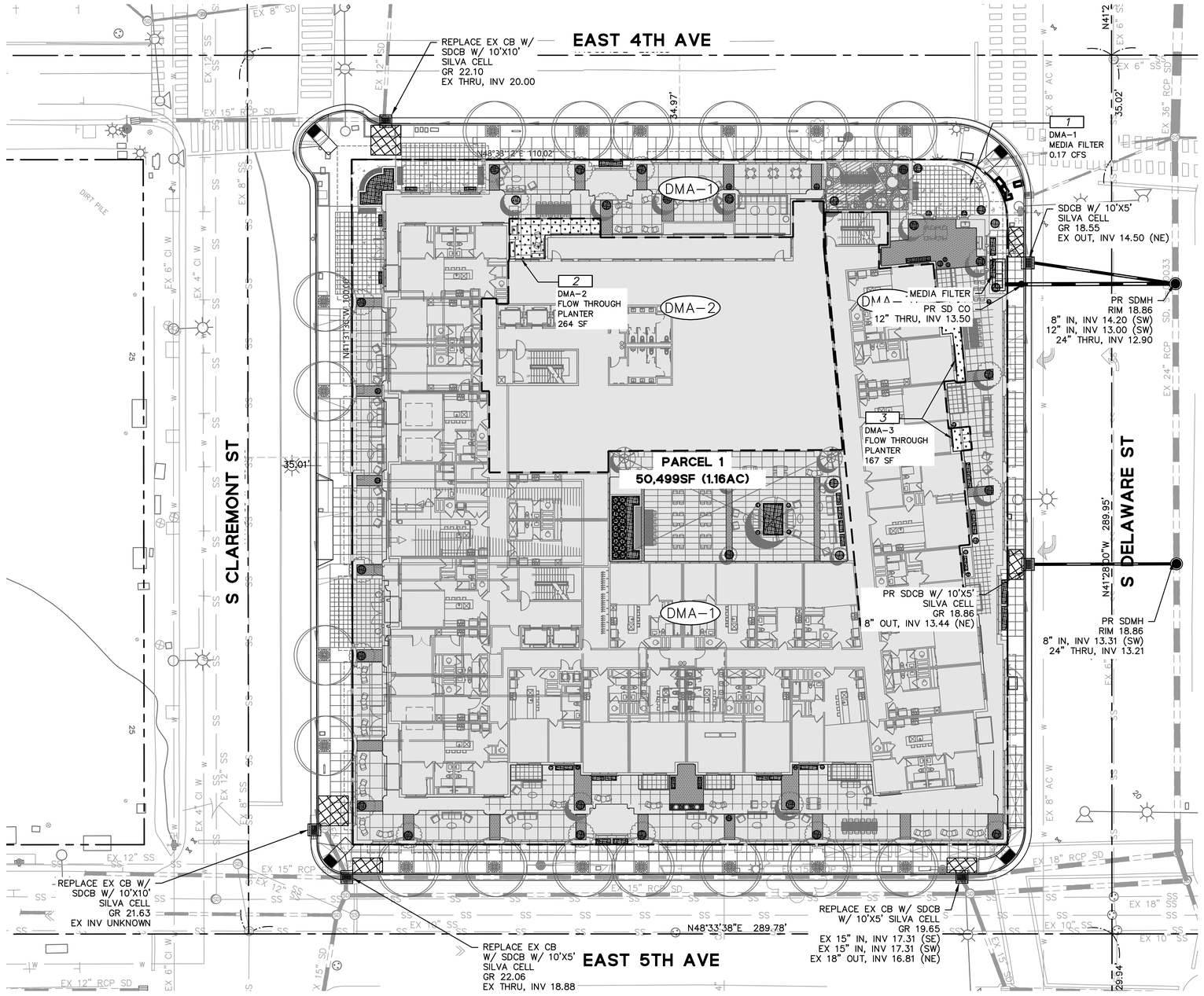
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

PRELIMINARY UTILITY PLAN

C5.01

PROJECT NO: 215513



LEGEND

- LANDSCAPE
- DRAINAGE MANAGEMENT BOUNDARY
- ROOF
- SIDEWALK
- FLOW-THROUGH PLANTER
- DMA-1 DRAINAGE MANAGEMENT AREA
- 3 TREATMENT CONTROL MEASURE

LID TREATMENT AREA SUMMARY

TREATMENT TYPE	DRAINAGE MANAGMENET AREA	TOTAL AREA	PERCENTAGE
NON-LID TREATED DRAINAGE AREA	DMA-1	36,726	73%
LID TREATED DRAINAGE AREA	DMA-2 + DMA-3	13,773	**27%**

DRAINAGE MANAGEMENT AREA TREATMENT CONTROL SIZING

DRAINAGE MANAGEMENT AREA	TREATMENT CONTROL MEASURE	TREATMENT TYPE	ROOFS (SF)	CONCRETE (SF)	LANDSCAPE (SF)	TREATMENT PLANTER (SF)	TOTAL AREA (SF)	TOTAL IMPERVIOUS AREA (SF)	TOTAL PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA* (SF)	TREATMENT AREA REQUIRED** (SF)	TREATMENT AREA PROVIDED (SF)	PONDING DEPTH (INCH)
1	1	Mechanical Treatment	34,399	1,548	779	0	**36,726**	35,947	779	**36,025**	0.17 CFS	0.17 CFS	NA
2	2	Flow-through Planter	8,537	0	0	264	**8,802**	8,537	264	**8,564**	257	264	6
3	3	Flow-through Planter	4,804	0	0	167	**4,971**	4,804	167	**4,821**	145	167	6
TOTAL			47,741	1,548	779	431	**50,499**	49,289	1,210	**49,289**			

* EFFECTIVE IMPERVIOUS AREA IS EQUAL TO THE TOTAL IMPERVIOUS AREA PLUS 10% OF THE TOTAL PERVIOUS AREA PER THE SMCWPPP C.3 REGULATED PROJECTS GUIDE

** TREATMENT AREA REQUIRED IS CALCULATED USING THE SMCWPPP WORKSHEET FOR CALCULATING THE COMBINATION FLOW AND VOLUME METHOD

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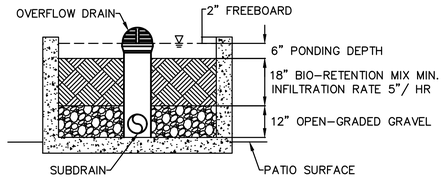
08.22.2022	ZONING PRE-APPLICATION

PRELIMINARY STORMWATER CONTROL PLAN

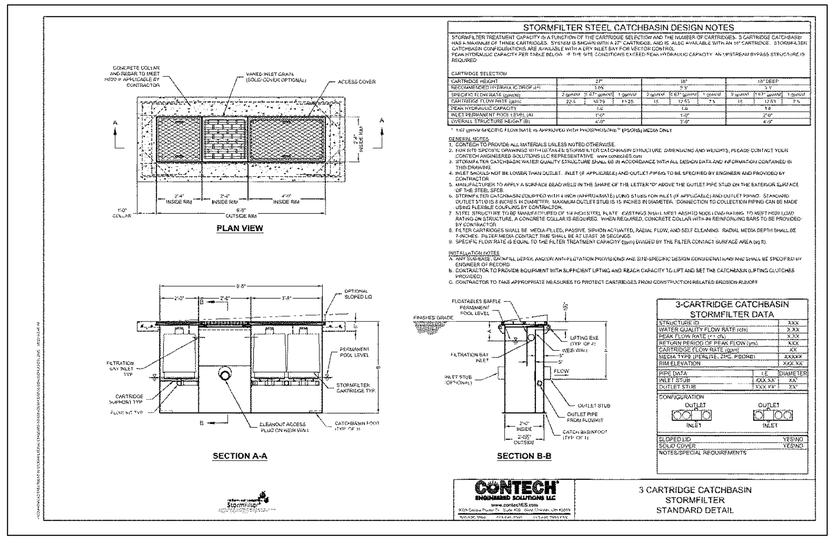
C6.01

PROJECT NO: 215513

K:\2022\2215_SM_E_4th_San_Mateo\PSC\1-Submittals\1-SZO\1-01 PRELIMINARY STORMWATER CONTROL PLAN.dwg Aug 19, 2022, 11:48am Sw



1 — **TYPICAL FLOW-THROUGH PLANTER ON PODIUM**



2 — **MEDIA FILTER**

CONSTRUCTION STORMWATER BMP NOTES

1. PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
2. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
3. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
4. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
5. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SI AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
6. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
7. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTE RUNOFF.
8. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
9. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREA AND SIDEWALKS USING DRY SWEEPING METHODS.
10. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
11. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
12. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
13. DUST CONTROL IS REQUIRED YEAR-ROUND.
14. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.

SOURCE CONTROL NOTES

1. STORM DRAIN: MARK ON-SITE INLETS WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT.
2. LANDSCAPING:
   - RETAIN EXISTING VEGETATION AS PRACTICABLE.
   - SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST-AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS.
   - MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
   - USE EFFICIENT IRRIGATION SYSTEM; DESIGN TO MINIMIZE RUNOFF.
3. REFUSE AREAS:
   - PROVIDE A ROOFED AND ENCLOSED AREA FOR DUMPSTERS, RECYCLING CONTAINERS, ETC., DESIGNED TO PREVENT STORMWATER RUN-ON AND RUNOFF.
   - CONNECT ANY DRAINS IN OR BENEATH DUMPSTERS, COMPACTORS, AND TALLOW BIN AREAS SERVING FOOD SERVICE FACILITIES TO THE SANITARY SEWER.
4. FIRE SPRINKLERS: DESIGN FOR DISCHARGE OF FIRE SPRINKLER TEST WATER TO LANDSCAPE OR SANITARY SEWER.
5. MISCELLANEOUS DRAIN OR WASH WATER:
   - DRAIN CONDENSATE OF AIR CONDITIONING UNITS TO LANDSCAPING. LARGE AIR CONDITIONING UNITS MAY CONNECT TO THE SANITARY SEWER.
   - ROOF DRAINS FROM EQUIPMENT DRAIN TO LANDSCAPED AREA WHERE PRACTICABLE.
   - DRAIN BOILER DRAIN LINES, ROOF TOP EQUIPMENT, ALL WASH WATER TO SANITARY SEWER.

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08.22.2022	ZONING PRE-APPLICATION

STORMWATER CONTROL NOTES

C6.02

PROJECT NO: 215513

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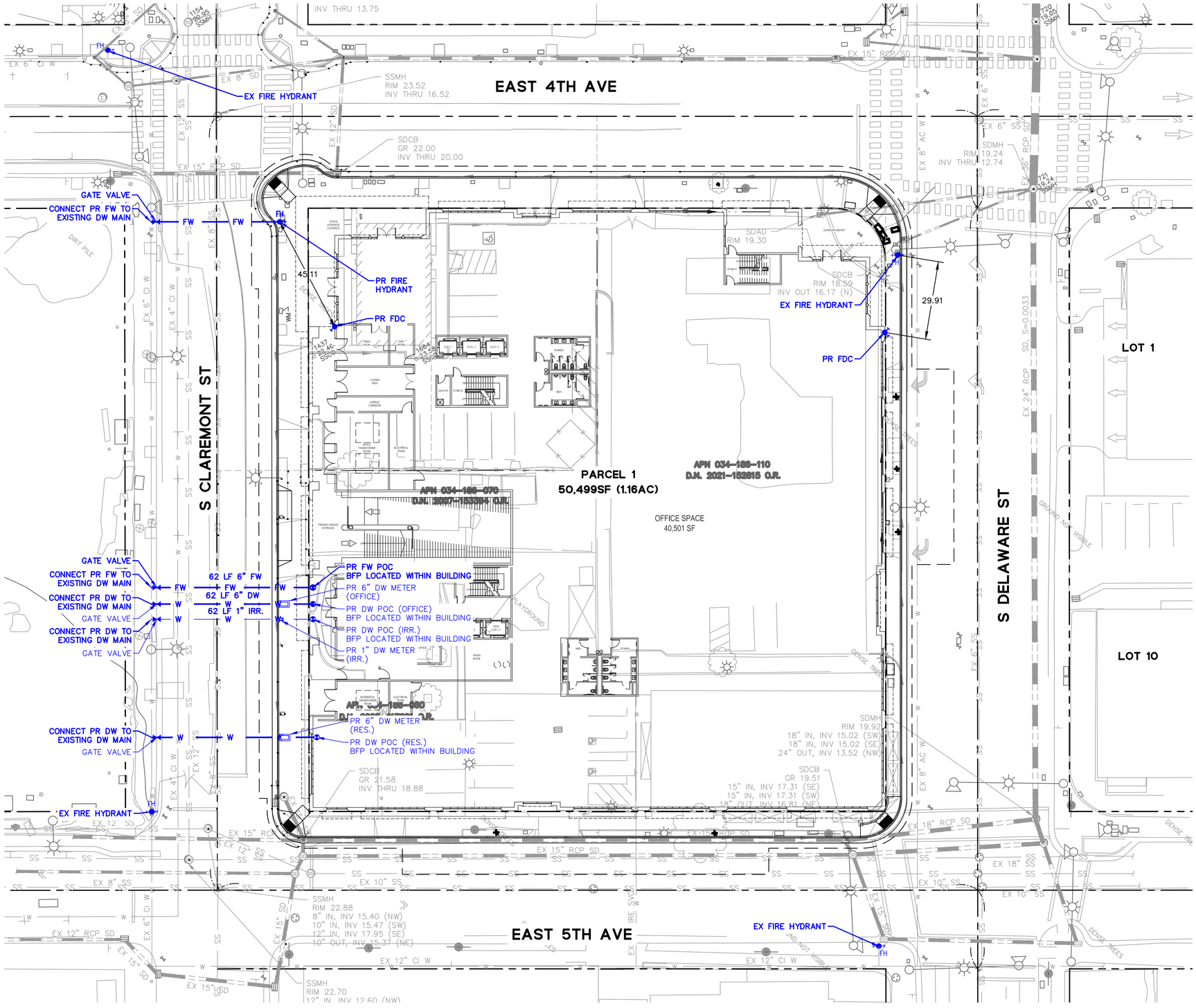

FIRE FLOW REQUIREMENTS BASED UPON CALIFORNIA FIRE CODE (2019 EDITION) – SECTION 507, APP. B & C

1. BUILDING AREA CONSTRUCTION TYPE:
   1.1. TOTAL BUILDING AREA = 305,260 SF
   1.2. TYPE 1A – BASEMENT (P1–P2) = 96,444 SF
   1.3. TYPE 1A – FLOORS (1–3) = 124,894 SF
   1.4. TYPE VB – FLOORS (4–6) = 83,922 SF

2. PER TABLE B105.1 OF THE CALIFORNIA FIRE CODE, THE REQUIRED FIRE FLOW IS:
   2.1. BY CONSTRUCTION TYPE:
      2.1.1. TYPE 1A – 5,000 GPM
      2.1.1. TYPE VB – 7,750 GPM
   2.2. PERCENTAGE OF BUILDING:
      2.2.1. TYPE 1A – 72.5%
      2.2.2. TYPE VB – 27.5%
   2.3. TOTAL FIRE FLOW:
      2.3.1. 5,760 GPM

3. THE REQUIRED FIRE FLOW WITH A 50% REDUCTION IS 2,880 GPM.

4. PER TABLE C102.1 OF THE CALIFORNIA FIRE CODE, THE NUMBER OF HYDRANTS BASED ON THE UNREDUCED FIRE FLOW IS 3.

5. PER TABLE C102.1 AND OF THE CALIFORNIA FIRE CODE, FOR BUILDINGS WITH A FIRE FLOW REQUIREMENT OF 2,880, THE AVERAGE SPACING BETWEEN FIRE HYDRANTS SHALL BE 400'.

GRAPHIC SCALE
20 0 20 40

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PRELIMINARY FIRE ACCESS PLAN

C7.01

PROJECT NO: 215513

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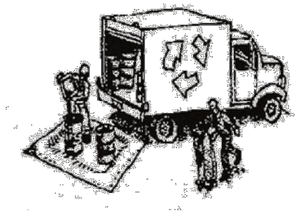
SAN MATEO COUNTYWIDE
Water Pollution Prevention Program
Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control

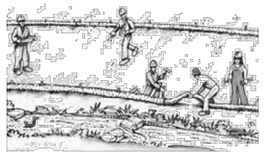
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

Paving/Asphalt Work

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

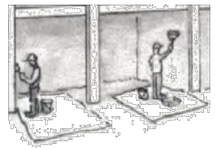
Concrete, Grout & Mortar Application

- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

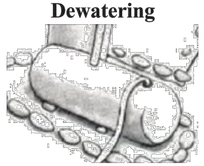
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to $10,000 per day!

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CONSTRUCTION BMPS

C8.01

PROJECT NO: 215513

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Landscape Concept

The landscape design concept for the new mixed use building is to provide an enjoyable and aesthetic space for the employees, residents, and guests that fits within the landscape framework of the surrounding area. Plant material has been selected that performs well in the special conditions of San Mateo (Sunset Zone #17).

No new turf areas are being added. Low and medium water-use hardy trees, shrubs, grasses, and groundcover are proposed for the landscape around building. The landscape (and associated irrigation) has been designed to be compliant with City of San Mateo Water Efficient Landscape Ordinance.

Special considerations have been provided in selection of plant material that respects the needs of the office users as well as the guests. Clear and secure view corridors have been provided to ensure safety of people entering the building as well as moving around the site.

Preliminary Plant Palette

Street Trees - 36"-Box
- Eucalyptus spathulata — Swamp Mallet

Shrubs

Low Evergreen Hedge - 5 gal. @ 24"-30" O.C.
- Buxus microphylla japonica 'Green Beauty' — Green Beauty Boxwood
- Myrsine africanus — African Boxwood
- Myrtus communis 'Compacta' — Dwarf Myrtle

Grasses or Accent Plants - 1 gal. @ 24"-36" O.C.
- Anigozanthos hybridus — Kangaroo Paw
- Calamagrostis actiflora 'Karl Foerster' — Feather Reed Grass
- Dianella tasmanica — Tasmanian Flax-lily
- Nassella tennuissima — Texas Needle Grass

The Preliminary Plant Palette represents a sampling of the types of shrubs and groundcovers that we anticipate to be appropriate for the location as well as the design style and overall theme. This is the list from which plant selection will be drawn from. Not all plants listed within this plant palette will be used in the final design and some plants not listed may be introduced. However, the planting design intent will remain consistent with this plan and plant palette.

Non-Living Groundcover

Mulch to be evenly distributed throughout all shrub and groundcover areas unless otherwise noted on plans. Mulch to be nitrogen stabilized, max. 3/4", recycled material installed at min. 3" depth. "Gorilla-Hair" is not acceptable unless specifically noted for slope areas.

Irrigation

The entire site will be irrigated using a fully automatic system and designed to meet the City's Water Efficient Landscaping Ordinance (WELO). The irrigation system will be subsurface drip line. Trees will be irrigated on separate circuits from the shrubs with deep root bubblers. The system will include in-line valves, quick couplers, and gate valves. The irrigation controller will be a "smart" controller by Rainbird, Toro, Hunter, or equal. A complete irrigation design with these parameters will be provided with the submittal of building permit plans.

NORTH
Scale: 1" = 20'-0"

0' 10' 20' 40'

Vicinity Map — Not to scale

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PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
BLOCK 20
SAN MATEO, CA 94401

DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

LICENSED LANDSCAPE ARCHITECT — MATTHEW K. HARRIS — STATE OF CALIFORNIA
Signature
Renewal Date
Date

Preliminary Landscape Plan

L0.1

PROJECT NO: 21-2444

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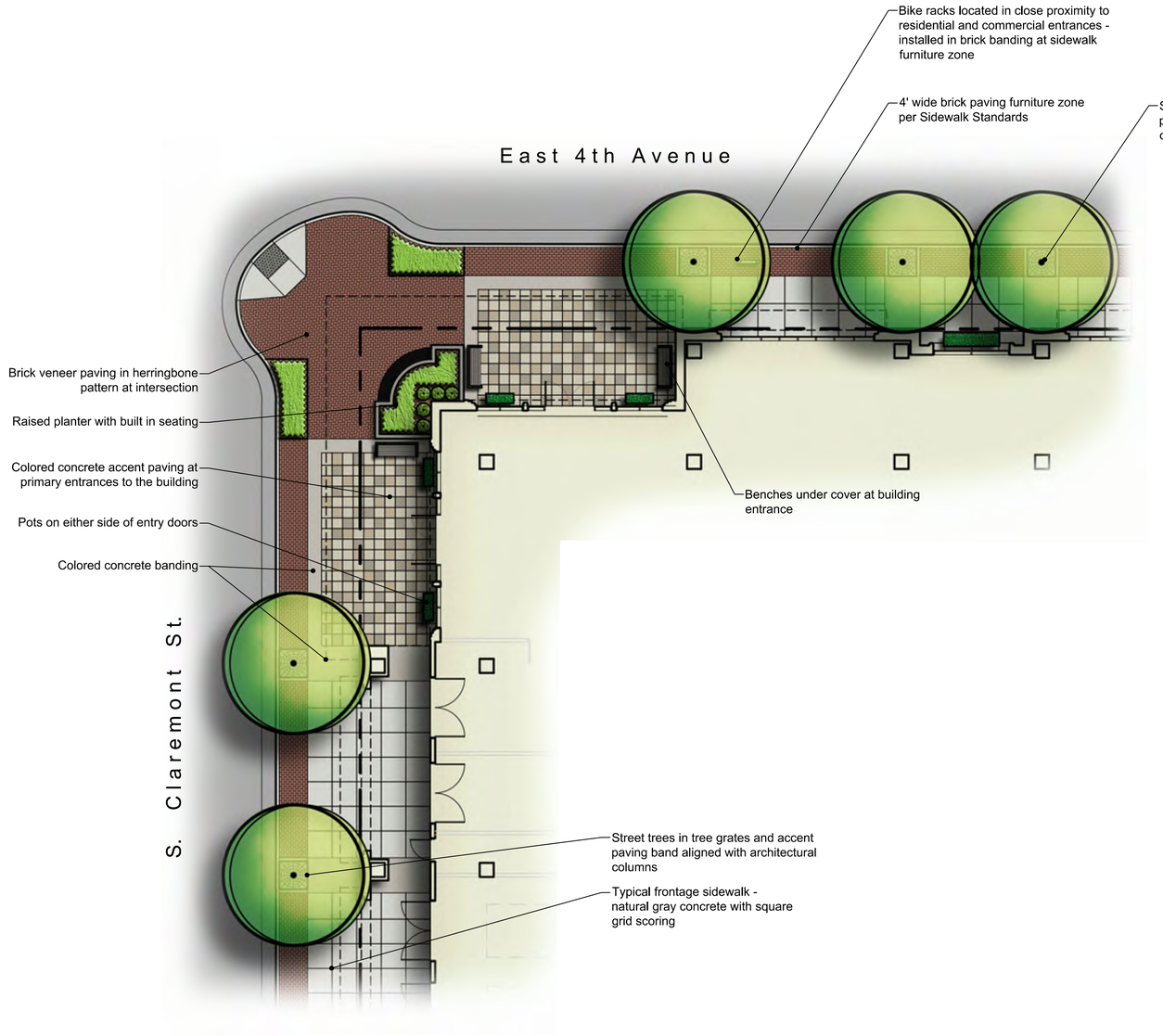
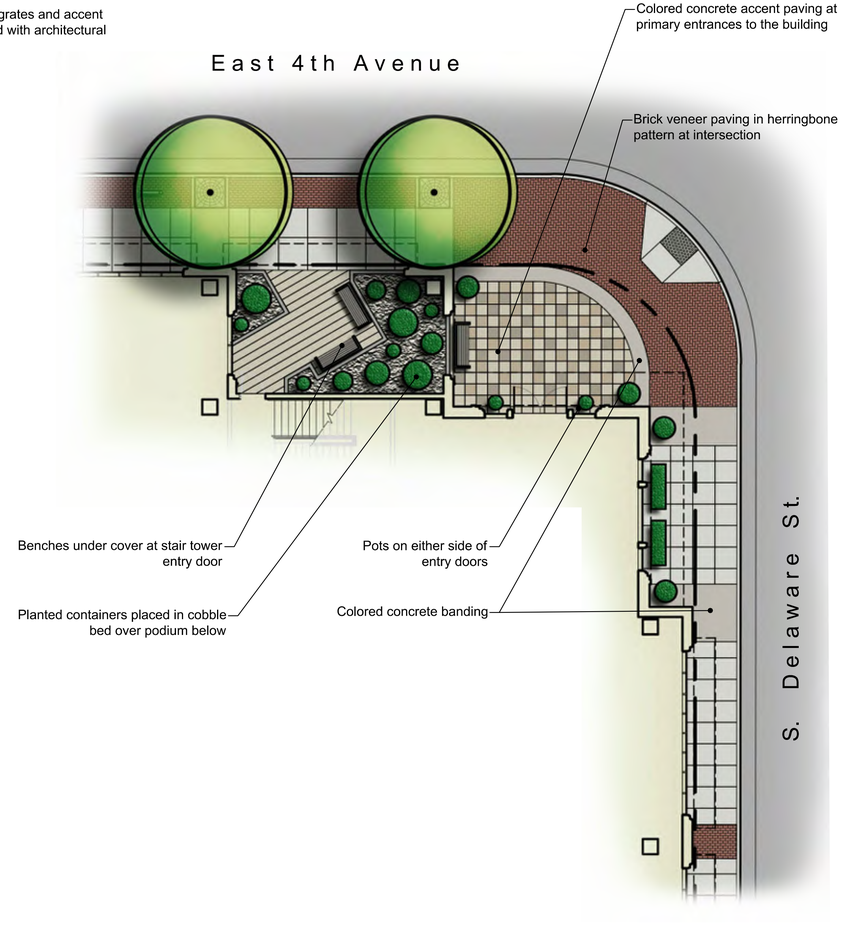


Open Space Enlargement - 4th and Claremont Intersection

SCALE: 1" = 10'-0"



Open Space Enlargement - 4th and Delaware Intersection

SCALE: 1" = 10'-0"

NORTH
Scale: 1" = 10'-0"

0' 5' 10' 20'

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DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

LICENSED LANDSCAPE ARCHITECT
MATTHEW R. HAWES 6329
STATE OF CALIFORNIA
Signature
Renewal Date
Date

Landscape Plan - Enlargements

L0.2

PROJECT NO: 21-2444

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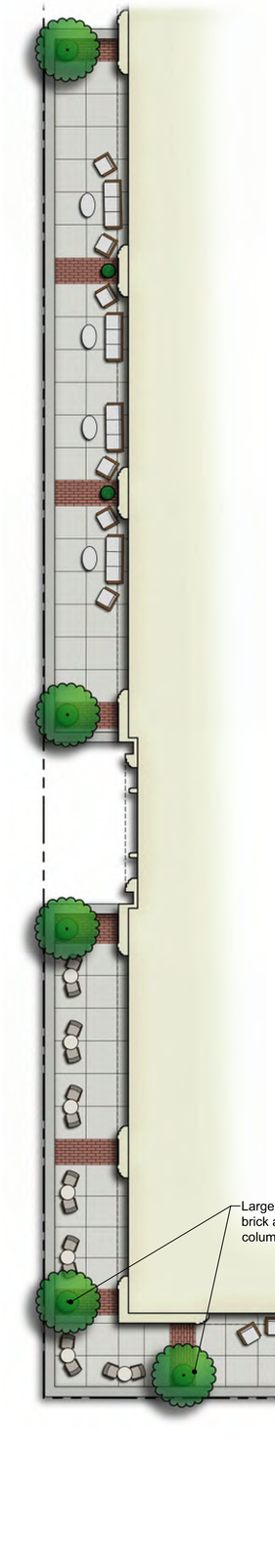

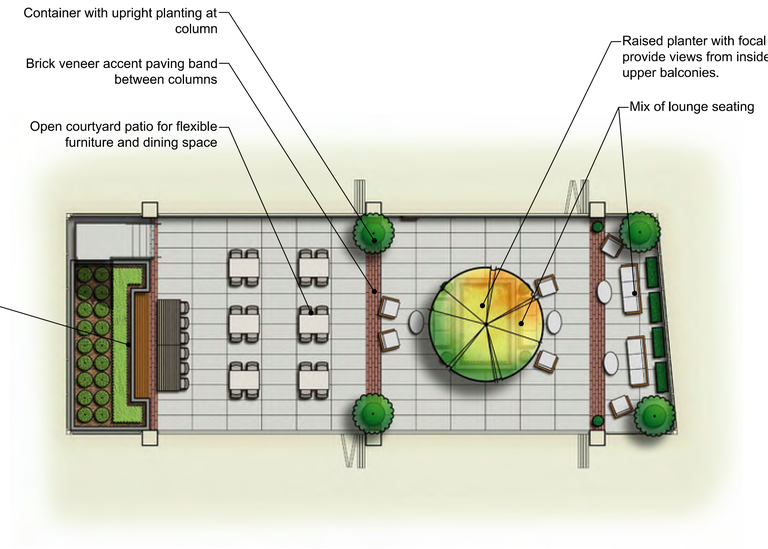

2nd Floor Atrium

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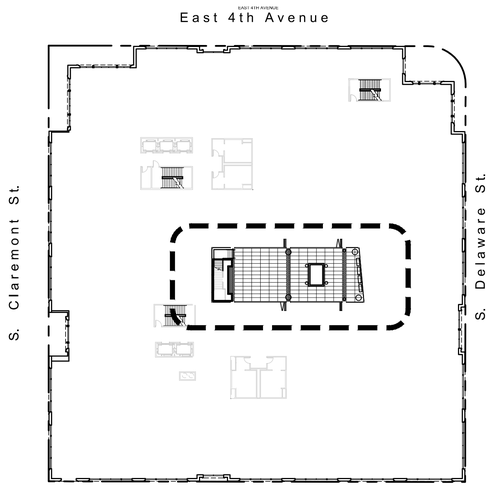
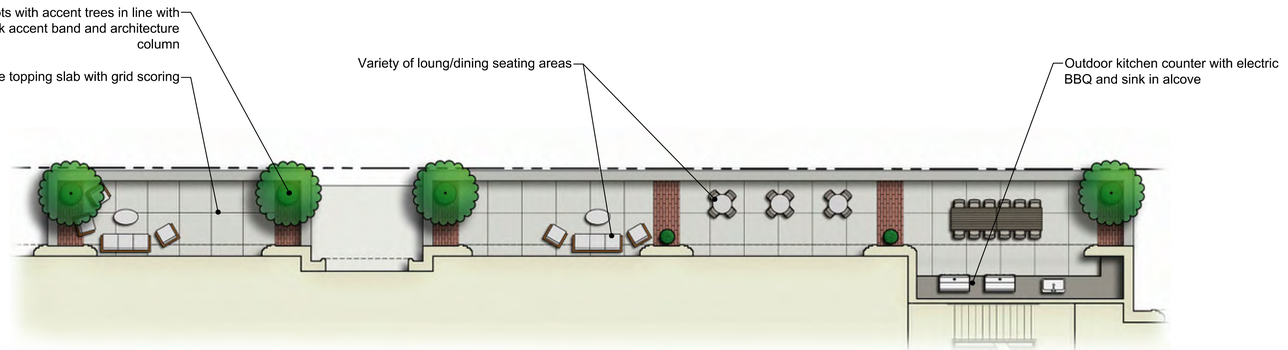


2nd Floor Key Map

SCALE: 1"= 40'-0"



3rd Floor Commercial Roof Deck - East 4th Avenue

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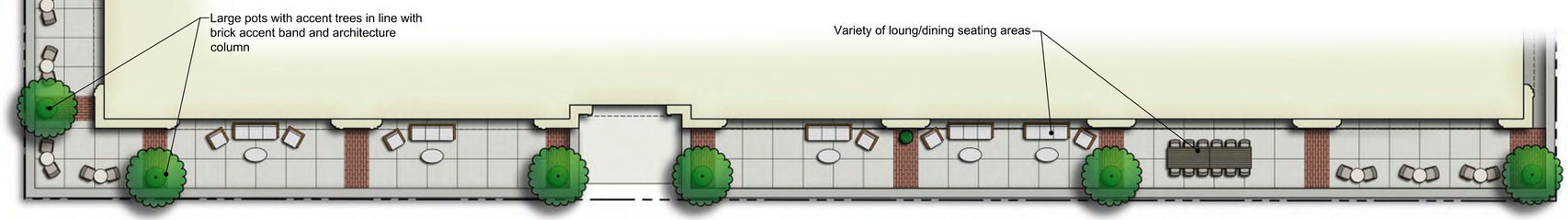

3rd Floor Commercial Roof Deck - 5th and Claremont Intersection

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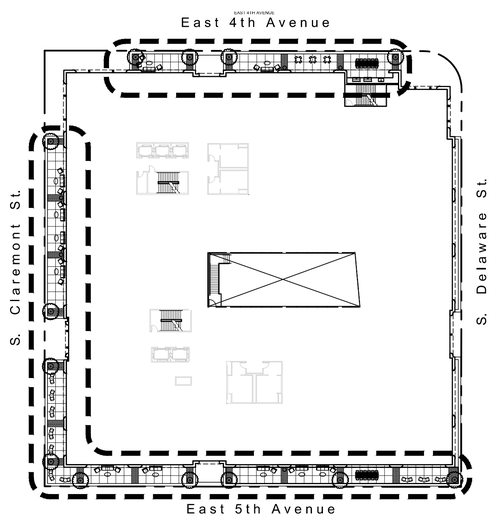

3rd Floor Key Map

SCALE: 1"= 40'-0"

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DATE	DESCRIPTION
08.22.2022	ZONING PRE-APPLICATION

LICENSED LANDSCAPE ARCHITECT
MATTHEW R. HARRIS 6429
Signature
Renewal Date
Date
STATE OF CALIFORNIA

Preliminary Landscape Plan

L0.3

PROJECT NO: 21-2444

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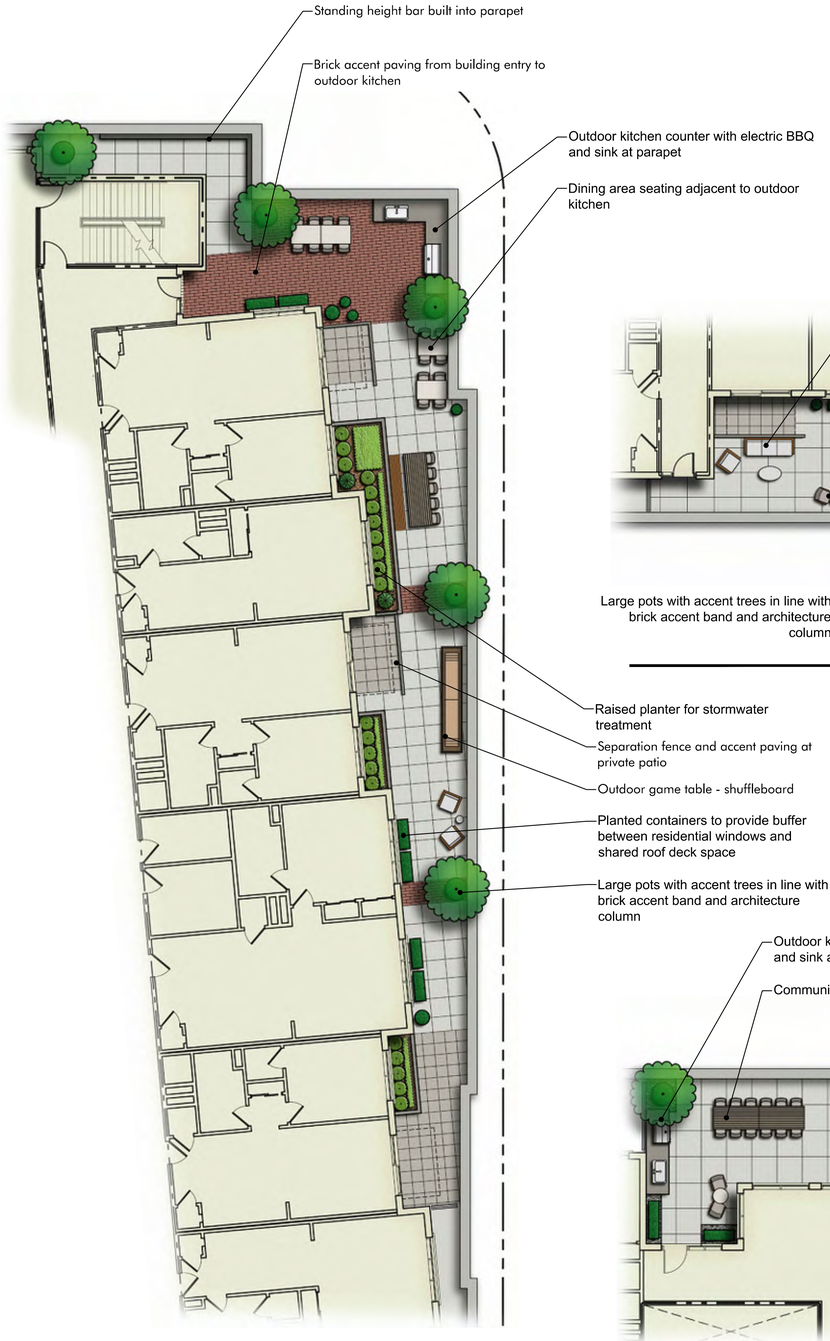
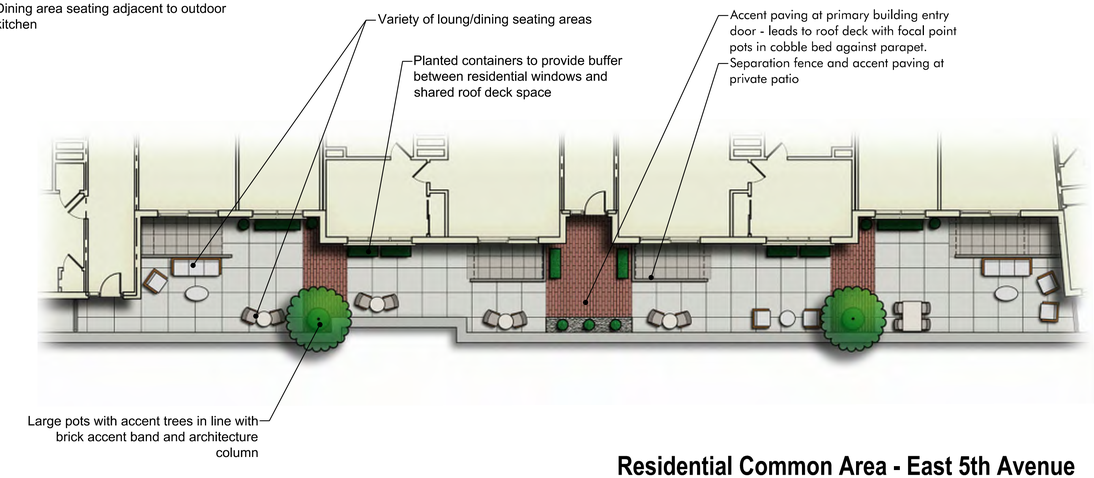


Residential Common Area - Delaware St.

SCALE: 1" = 10'-0"



Residential Common Area - East 5th Avenue

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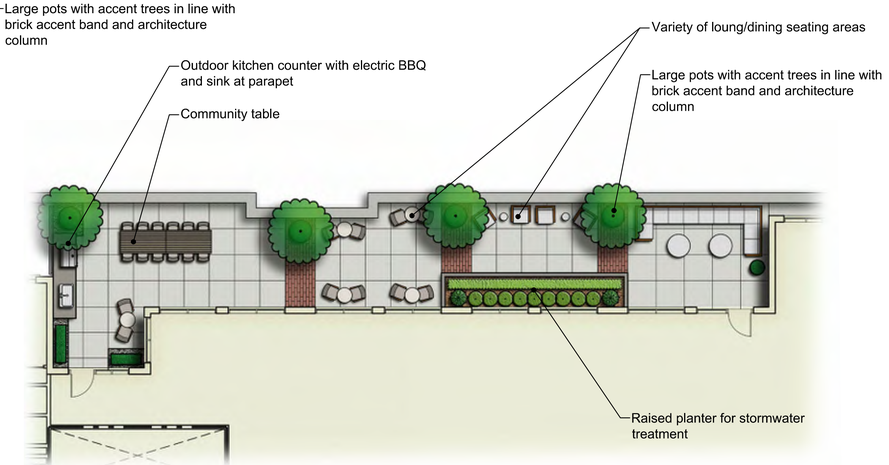

Commercial Roof Deck - East 4th Avenue

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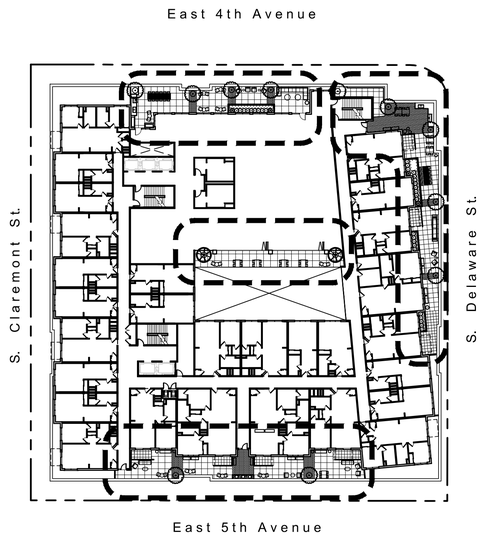
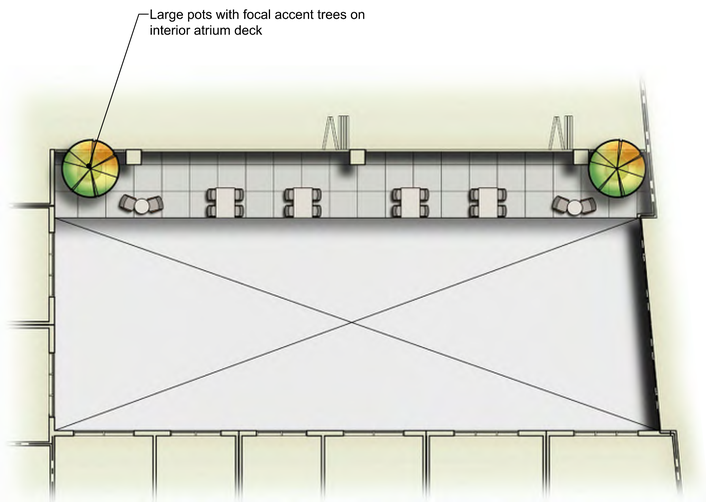


4th Floor Key Map

SCALE: 1"= 40'-0"



Commercial Roof Deck - Interior Courtyard

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Date
STATE OF CALIFORNIA

Preliminary Landscape Plan

L0.4

PROJECT NO: 21-2444

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